

Guadalupe and Hawes
Subdivision Submittal Application
Guadalupe and Hawes Roads, Mesa, AZ
January 2018

Snowdon Residential
7114 E Stetson Drive
Scottsdale, Arizona
85251

SNOWDON

Southeast Corner Guadalupe & Hawes Roads

Mesa, Arizona



PROJECT DEVELOPMENT TEAM

Residential Developer:

Snowdon Residential, LLC
7114 E Stetson Drive Suite 400.
Scottsdale, Arizona 85251
Contact: Scott Curtis
Email: scott@snowdonpartners.com
Phone: (602) 999-2189

Building Architect:

Synectic Design - Architects
1111 W. University Dr. Suite 104
Tempe AZ 85281
Contact: Lance Baker
Email: lbaker@sdiaz.us
Phone: (480) 948-9766

Civil Engineer:

Terascape
1102 East Missouri Avenue
Phoenix, Arizona 85014
Contact: John Gravatt
Email: jgravatt@terrascape.us

Landscape Architect:

Phillip R. Ryan, Landscape Architect, P.C.
4916 South Quiet Way
Gilbert, Arizona 85296
Contact: Phillip Ryan
Email: mail@ryanassociatesonline.net
Phone: (480) 246-9681

Project Request

This Submittal application narrative provides information for the proposed Guadalupe and Hawes Subdivision, located on the southeast corner of Guadalupe and Hawes Roads. This Submittal application is the starting process needed to begin the development of the residential community. This community consists of approximately 10 gross acres. The purpose of this Submittal application is to identify the entitlement procedures and approvals necessary to initiate the development of approximately 121 residential units. A Site Aerial Photo and Submittal Exhibits are enclosed with this application.

Project Description

The development concept for the proposed Guadalupe and Hawes site is to plan compatible residential rental home types around a centralized open space/club house, including swimming pool and fitness center. The major entry from Guadalupe Road provides views into the centralized community area.

The overall density for the development is approximately 12.1 dwelling units per acre (DU/ac).

The proposed zoning is MR-2-PAD. Open space requirements will be in conformance with City of Mesa requirements and standards.

The primary vehicular access to the Community is via Guadalupe Road and the secondary community access is proposed along Hawes Road.

Conclusion

This proposed development provides an opportunity to put this site to a contributing use and initiate development of a single-family residential rental neighborhood totaling 121 units. We respectfully request your review of the enclosed Submittal application.

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A. Executive Summary

Snowdon has designed a residential product that fulfills the desire to live in a home, in a location convenient to local services, while being able to enjoy a lifestyle free from long-term commitments, financial burdens and maintenance hassles. It is a **leased home neighborhood** that combines the best of single-family homes with the conveniences of rental housing.

The subject property is 10.0 acres at the southeast corner of Guadalupe and Hawes Roads in Mesa, Arizona. This is a gated neighborhood, with two controlled access points along Guadalupe and Hawes Roads. Snowdon's homes will feature one, two and three bedroom single and two story homes ranging from 718sf to 1,361sf. Many of the homes are fully detached, while a small amount are attached in a duplex style. The home interiors are an open concept design with 9-foot ceilings, clearstory windows, and high end finishes such as stainless steel appliances and quartz countertops. The proposed architecture for the development is Spanish contemporary, which adds a distinct character to the neighborhood while relating to adjacent residential homes through the use of similar colors and materials. This character will be further defined through an integrated thematic design during the Site Plan review process and will include entry features, site walls, landscape and landscape features, paths and walkways, directional signage and more.

The proposed density of 12.1 du/ac is significantly less than allowed by the RM-2 multi-family zoning category, but also provides a much higher density than traditional single family. Homes are clustered around pedestrian courtyards to create a sense of place within the greater context of the neighborhood; the opportunity for residents to create a greater connection within the fabric of Snowdon's communities. All homes and garages will be fire sprinkled, allowing a reduced building separation that enhances the impact of the courtyard design. Vehicular access and parking is interior to the neighborhood providing better accessibility for residents and reduced visibility from the public. A central open space provides a location for residents to meet and gather, as well as uninterrupted access to the neighborhood pool amenity. Impacts to utilities and traffic are comparable with this proposed use with the existing single family use.

Snowdon gives people a new choice that meets their needs yet exceeds their expectations by allowing residents to truly experience "the best of all worlds" – living in a house, in a private neighborhood, located close to community amenities and employment, while enjoying the flexibility of leasing and the maintenance free lifestyle of living in a professionally managed neighborhood. The property will be managed by Alliance Residential, the seventh largest management company in the nation, and best-in-class operator.

Alliance has a successful track record of developing high-end residential developments locally and across the nation. They are committed to delivering a sustainable development that will evolve the character and success of the surrounding area and enhance the City and this community.

B. Project Overview

The vacant property is adjacent to a vacant single-family residential zoned property to the east of the subject site. The property is also bound by Hawes Road to the west and Guadalupe to the north.

Snowdon's neighborhoods are targeted at a higher income segment of the residential market and are differentiated from the traditional "garden apartment" complex. Snowdon's properties are a Class 'A' leased home neighborhood that offers residents an immediate sense of individuality with personal space to enjoy. Further, the development offers a number of intrinsic benefits including a comfortable lifestyle in a private setting without the typical costs or hassles associated with home maintenance, Home Owner's Association fees, or a long-term mortgage commitment. This type of housing provides an alternative option to fee simple single-family ownership for high income individuals who wish to remain in, or come to, the City of Mesa.



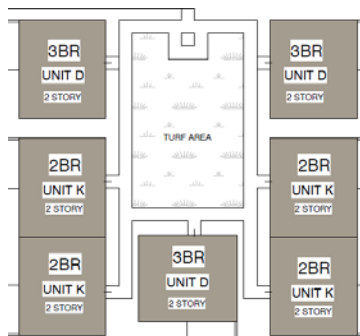
Snowdon seeks to provide a distinctive home environment that offers stability through a quality managed leased home neighborhood for people who choose to lease instead of owning their home. The homes are designed with contemporary interior finishes, distinct architectural features, open concept living, and private outdoor spaces similar to traditional single-family homes. To enhance this feeling of personal freedom, professional property management provides 24/7 accessibility through its web based customer care center for reporting issues, requesting maintenance service, or just providing feedback on the neighborhood. This is in addition to an onsite property management presence, and is in step with the trend of mobile technology supporting and enhancing the consumer experience.

We believe that the proposed Snowdon neighborhood is comparable and complimentary to the adjacent residential community that would occur under the existing commercial zoning. Height, activity, building mass and traffic are all significantly similar under this proposal. Further, there are at designated single family sites within East Mesa that have remained vacant for years. There is also a significant lack of rental housing options in this area, as the majority of the approved land use is comprised of single and medium density residential land use.

1. Overall Design Concept

Snowdon's neighborhoods are designed to provide a pleasant residential environment within the context of higher density development by combining elements of both single family and multi-family design. Although the product is a leased home neighborhood that is professionally managed, the project is similar to a traditional single family home subdivision in terms of the resident having private living space within a detached, single story building that is accompanied by a private back yard area for their personal enjoyment as shown in the Conceptual Site Plan below. And although Snowdon places an emphasis on the private open space, the neighborhood also includes resident gathering areas such a club house, fitness center, pool and spa, adjacent sun-bathing deck, and lounge area to provide respite from Arizona summers.

The development proposal, as illustrated in the attached Exhibits and described in detail in the Development Standards and Design Guidelines sections, includes single and two-story leased homes that are one-bedroom, two-bedroom and three-bedroom units that range in size from 718 to 1,361 square-feet according to three floor plan models. A conceptual mix of home types is presented in the Building Type Exhibit. Approximately 60% of the homes are detached structures (i.e. no common walls) and 30% are one-bedroom homes that will be built "duplex-style". An important design aspect of the neighborhoods is the pedestrian courtyard that the homes are clustered around as shown in the Residential Courtyard Exhibit. The courtyards



enhance the residents' sense of privacy, individuality, and established "defensible space". The defensible space concept suggests that by grouping homes and defining areas of activity, residents have a clear understanding of the space and its intended users. In other words, by creating the individual courtyards, the residents know who should be there, and who should not. The courtyard also creates usable outdoor space at the entry to each home for interaction and the creation of outdoor living spaces. All homes and garages will feature residential fire sprinkler systems in order to accommodate minimum building separations in accordance with the IRC. In addition, all homes

will meet the 150-foot hose length requirement as stipulated by the Fire Department and as shown in the attached Fire Access Plan. Although the courtyard design creates an intimate living environment, the proposed density of 12.1 du/acre is significantly less than the 18 du/ac density (or greater) generally found in a typical multi-family project.

The placement of homes on the perimeter of the property, with the rear yards facing the adjacent streets, is designed to complement the streetscape and adjacent developments by providing a similar scale and visual aesthetic as single-family homes. The perimeter wall that encloses the rear

yards of the street facing homes will be designed to be similar in form and color to the perimeter walls in Palm Valley, which is a common thematic element of that community. Internal vehicular circulation and parking also reduce the visual impact of the community by hiding it from the public view.

The overall design of the neighborhood and homes is in response to the ever changing needs of today's consumers, providing luxury living spaces and neighborhood scale amenities without a mortgage payment. The property is conveniently located near regional transportation routes and all the conveniences of an urban setting. This type of neighborhood is intended to attract a resident who frequents the area's retail goods and services, restaurants and other community attractions; one who enjoys the social interaction inherent to a more urban residential environment. Upscale residents are drawn to Avilla Homes' comfort, convenience, design, privacy, and location.

2. Architectural Design & Theme

The architectural theme of the neighborhood is Spanish contemporary as illustrated in the Building Concept Exhibits. The employment of layering to create varying elevation planes also creates the opportunity to provide subtle changes in color and shadow, giving the architecture depth. Muted desert hues are applied to large massing areas, while richer accent materials are used to create splashes of interest near entryways. As mentioned, in addition to private backyard space for each resident, a unique private courtyard environment that faces a shared pathway amenity creates synergy between the homes and community among the residents. The architectural theme for the home surrounding each courtyard will be similar in order to create a consistent identifiable aesthetic. This is illustrated by the elevations in the Building Concepts. Each floor plan will have a minimum of three unique elevations in terms of materials, colors, and finishes.

Landscape and plantings such as palms will provide verticality while desert trees will provide a contrast to the structured planes of the homes. These elements will be used to support and enhance the massing of the residences by breaking both their horizontal and vertical planes.

The architecture proposed for the neighborhood will inform the overall theme for the community to be presented with the Site Plan application for the project. Consistent thematic elements will include entry monument(s), courtyard entries or "portals", landscape materials and features, amenity buildings, pool area details, paving and concrete treatments, wall hierarchy and design elements, and directional signage. All of these elements will work together to create a unified vision for the project, and provide a distinctive yet familiar feel to the neighborhood.

C. General Plan Conformance

A significant goal of the General Plan is to encourage integration of compatible uses so as to provide a cohesive environment that is in harmony with the existing character of the general area. The proposed land use meets the City's adopted policies and goals by replacing a vacant parcel with a residential use, which is orientated like adjacent residential uses so as to blend with the character of the area.

The proposed neighborhood provides quality workforce housing in a growing area of the City in order to support a number of nearby commercial and retail uses. Future residents will generate significant economic activity for the benefit of Mesa by supporting existing (and planned) commercial retail and office uses which have suffered during the past few years. Furthermore, the project's residents will become retail customers who will not only potentially work, but will also live in this area on a 24-hour, seven-day-a-week basis. It is anticipated that the project will result in considerable, ongoing City-sales tax revenue which will be created from the spending activity of the future residents. The community will provide a distinct and unified living environment in proximity to a variety of employment and, leisure opportunities as well as other types of re- tail/commercial businesses that will help stabilize the area.

Mesa 2040 GP = Neighborhood Village Center

This unique infill residential neighborhood provides a highly desirable living alternative. New residential housing along this high capacity corridor provides unique opportunities to live, work and enjoy entertainment in the immediate area. The proposed project has the potential to significantly increase the sales tax revenues in this area of the City. Expanding housing opportunities within proximity to an existing employment core has the potential to also significantly improve the existing resident/employment balance as employment-related users usually seek a wide variety of housing options and demographics to support their businesses and/or employees.

The design and scale of the project is consistent with the adjacent single-family residential developments in the area. The proposed architecture, landscaping techniques, pedestrian/vehicular access and the overall site layout have been incorporated into the design of the project in order to ensure compatibility with the adjacent properties and provide for access to a variety of transportation options.

The proposed development is appropriately located in an area where vehicular and pedestrian access to major arterial roadways as well as a network of transportation methods is readily available.

It is anticipated that the project will result in considerable, ongoing City-sales tax revenue which will be created from the spending activity of the future residents. The development will accommodate a distinct and unified living environment for future workforce housing in proximity to a variety of

employment opportunities and other types of businesses to provide economic stability to the community and allow residents to live close to work and abundant recreational activities. Future residents will enjoy a variety of recreational activities and golf courses in the area.

The application will allow for this infill site to be developed for a high-end leased home neighborhood that is orientated and built like a single-family subdivision. There have been few types of multi-family developments, especially as unique as this, that have been built within the immediate area which further amplifies the need for this type of luxury leased home neighborhood. In fact, providing multi-family uses and quality workforce housing is an important part of a long-range planning for the City in general.

Further, this request will allow The City shall encourage a mix of housing types that is consistent with market trends, satisfies demand, and adequately meets the needs of all prospective residents and workers. In addition, this request will provide a land use that is compatible with the surrounding area. This proposal also provides a new housing choice in proximity to a diverse mix of cultural, employment and service-orientated uses which are easily accessible to the Santan Freeway 202 and I-60 which lead to a variety of commercial, employment and office uses. Lastly, this request adheres to the City's vision about providing a unique housing option that will benefit professionals who desire a contemporary suburban lifestyle with a variety of amenities and entertainment options close to their workplace. This project is consistent with the goals and policies of the General Plan for housing choices.

D. Zoning and Land Use

1. Existing Zoning

The existing land uses and zoning adjacent to the site are as follows:

Surrounding Land Uses and Zoning		
	Land Use	Zoning
On-site	Vacant	RS-43
North	Existing Residential	RS-7
South	Existing Residential	RS-6
East	Vacant	Single-Family Residential (0-6 du/ac) RS-6
West	Vacant Pad and existing Commercial	LC Limited Commercial

2. Land Use Compatibility

Neighborhoods like Snowdon's have been in operation for over 14 years and show how well such neighborhoods fare over time. This project provides professional property management to ensure that the property is maintained at the highest standards and that all who live in the neighborhood are being cared for in a timely and professional manner. All parties involved with Snowdon have a significant investment in maintaining the quality, integrity and appearance of all structures, landscaping, and on-site features on an on-going basis.

Snowdon will enhance the character of the area by improving the existing vacant site and by adding an exciting new, residential neighborhood along Guadalupe Road. The project is a compliment to the area due to the proposed building design with private backyards which correspond to the homes the property, as well as the project lack's the intrusive and often abundant perimeter lighting, traffic, perimeter parking areas with truck access and similar characteristics of developed commercial properties. This land use will be compatible with the neighboring developments and will provide high quality, unique, and additional housing opportunities within Mesa.

E. School Impacts

Due to this unique “hybrid” residential use that brings together the attributes of single-family home and multi-family living, residents, tend represent the following characteristics:

- More mature in age than typical apartment renters
- Attracts professionals, managers, pre-seniors and seniors
- Few children
- Two-income households

The site is located within the boundaries of the Gilbert Unified School District. Based upon the experience of similar types of leased home neighborhoods, there will be a very light public school impact from the proposed development. Demographics on similar projects indicate that two students for every ten homes will be generated from this community, or approximately 25 students based on the maximum proposed density.

F. Sustainability

Snowdon's neighborhood is in itself a sustainable concept in residential development. The development provides for a detached living environment with private open space at a higher density than traditional single-family subdivisions. It also encourages a reduced carbon footprint by locating in an infill area adjacent to existing recreation and retail amenities.

Within our residences, energy efficiency and environmentally responsive environments create a better home atmosphere for residents. Each residential unit will incorporate Energy Star compliant elements to increase energy efficiency including but not limited to high efficiency mechanical equipment and water heaters, dual glaze low-e windows, reduced flow toilets and energy rated appliances. Additionally, on-site proactive recycling measures will be implemented throughout the property during the construction processes.

G. Infrastructure

1. Off-Site Improvements:

The majority of required F improvements, such as the pavement, curbing, side- walks, landscaping and streetlights have been installed prior to this application.

The proposed development will provide two new driveway access points on Hawes Road along the western boundary of the site and Guadalupe to the north.

2. Grading and Drainage:

The site is mostly devoid of significant vegetation and is relatively flat.

All project generated storm water runoff will be contained on the site. The required on-site retention volume will be provided for the 100-year, 6-hour storm event through a combination of surface retention and underground storage piping, tanks and/or chambers. Water quality measures will also be incorporated into the drainage scheme in accordance with applicable City requirements.

3. Water and Waste Water:

The project site is a portion of, and located within the City of Mesa Service Area. Accordingly, there is existing sewer and water infrastructure adjacent to the site which was designed and constructed to service the overall Master Planned Community, including the parcel which is the subject of this application.

H. Design Guidelines

1) Introduction

Snowdon's neighborhood is a unique residential development that does not easily fit into either single family or multi-family design guidelines. Because of its hybrid nature, a hybrid guideline is necessary to define the development of the neighborhood. The design for the project shall be in general conformance with the multi-family components of the City of Mesa Guidelines, unless otherwise noted.

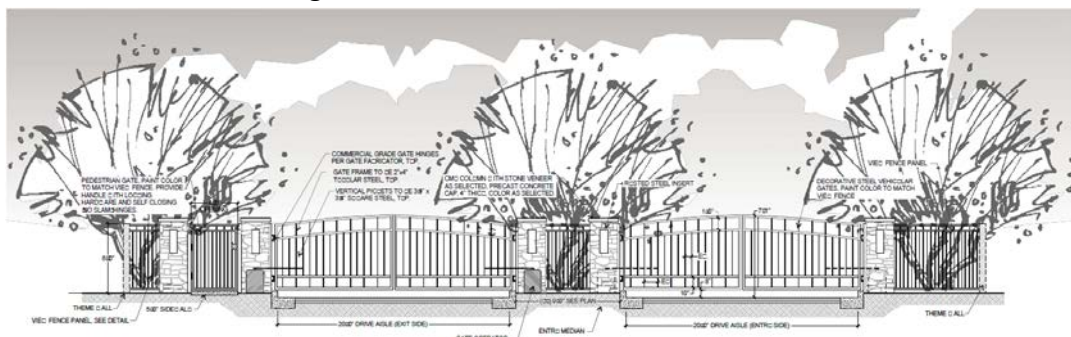
2) Site Design

a) Site Layout and Orientation

- i) The homes will be oriented in four and five unit courtyards whenever possible. The courtyard design will include a focal point at the center of the buildings, such as a tree or other architectural element in accordance with the overall neighborhood theme.
- ii) Courtyards will be generally oriented with rear home back yard elevations parallel to adjacent streets. The back yards will be enclosed by masonry walls designed in accordance with the overall neighborhood theme.

b) Access and Circulation

- i) The development proposes two (2) vehicular gated entrances from Hawes Road and Guadalupe Road. The gates will be attractively designed as an integral architectural detail of the overall neighborhood theme.



- ii) Pedestrian connections to adjoining residential and commercial developments, roadways, schools, open space areas and other compatible land use facilities shall be provided at the main entry by way of sidewalks connecting to the adjacent right-of-way. This creates an efficient circulation plan while preserving the privacy of the gated neighborhood.

c) Parking Areas

- i) Parking and parking access lanes will be centralized to the neighborhood to minimize visibility from adjacent properties. The parking areas will be generally as depicted in the Conceptual Site Plan attached to this application.
- ii) Covered parking and detached garages shall be designed as an integral part of the architecture of the projects. They should be similar in material, color, and detail to the buildings of the development. Flat metal roofs may be allowed for carports so long as they meet the aforementioned criteria.
- iii) Garages and carports will not be located directly adjacent to courtyard entries to the extent possible while still meeting the City's parking standards.

d) Project Entries

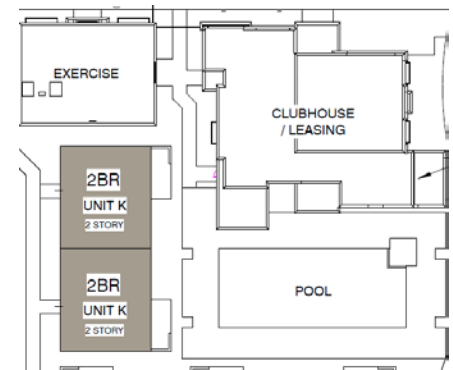
- i) The project will include an enhanced themed entry with features that may include ornamental landscape, signage, architectural monuments, enhanced paving, specialty lighting and other features.

e) Crime Prevention Through Environmental Design

- i) In order to promote defensible space, individual courtyards should not be connected through walkways or paths.
- ii) Pedestrian portals shall be incorporated in the site design at courtyard entries to provide identifiable access points for residents, their guests, and emergency personnel. The pedestrian portals shall be incorporated as an integral architectural detail of the overall neighborhood theme.

f) Open Space

- i) A neighborhood community features shall be incorporated into the site design with the following amenities:
 - (1) Swimming pool with minimum 1,000 square feet of surface area.
 - (2) A minimum of 500 square feet of deck area
 - (3) Jacuzzi with a minimum capacity of 8 adults
 - (4) Clubhouse and Fitness Center
 - (5) Separate Men's and Women's restrooms



- ii) The central open space area will incorporate a passive recreation area for residents' enjoyment. The area shall incorporate shade through the use of mature trees or

shade structures and include low decorative seat walls, benches and other seating areas. The common open space is intended as a supplement to the private yards provided to each resident.

g) Landscaping

The landscape design for the project shall be in general conformance with the multi-family guidelines of the City of Mesa.

h) Lighting

The lighting design for the project shall be in general conformance with the multi-family guidelines of the City of Mesa Guidelines.

i) Wall Design

Buildings adjacent to common open space and adjacent streets shall have six (6) foot back yard walls constructed of masonry (i.e., not wrought iron) in order to promote privacy in the rear yards.

j) Cluster Mailboxes

The cluster mailbox design for the project shall be in general conformance with the multi-family guidelines of the City of Mesa Guidelines.

k) Utility and Mechanical Equipment

The utility and mechanical equipment design for the project shall be in general conformance with the multi-family guidelines of the City of Mesa Guidelines.

l) Trash Enclosures

- i) Refuse containers may be located adjacent to primary buildings, however they may not be located adjacent to courtyard entries.
- ii) Depressed trash containers shall be allowed in lieu of fully enclosed and gated trash enclosures. The trash containers will be partially located below grade and screened though placement adjacent to garages, masonry walls, or landscaping. Masonry walls used to screen the trash containers will be painted to match the colors from the buildings.

3) Architectural Guidelines

When considering the Architectural Guidelines for Snowden's neighborhood, it is important to consider that these homes are diminutive in size (718-1,361sf) compared to traditional multi-family structures. In fact they are smaller than most new single-family homes. The Building Concepts included in this application provide a guide to the general details proposed for this project.

- a) All homes and garages will include residential fire sprinkler systems.
- b) The homes in each courtyard are intended to complement each other in terms of architectural elements. Materials, colors, and other treatments will be selected to create visual unity and identifiable character.
- c) At least three different elevations will be provided for each floor plan. Per the above, these elevations will form three identifiable courtyard architectural themes.
- d) Stone, brick, or other significant accent façade material shall be provided as accents on at least two of the courtyard elevations for each floor plan.
- e) While acknowledging that front entrances are not the most visible elevation from public view, front entrances will be accentuated through the use of roof elements, columns, porticos, recesses or pop outs, scoring, and/or other architectural features.
- f) Side and rear elevations, where visible from public view, will be accented through the use of roof elements, columns, porticos, recesses or pop outs, scoring, and/or other architectural features.
- g) To the extent possible, the same courtyard architectural theme shall not be build next to one another.
- h) Each home will provide a variety of parapet heights to create visual variety in the roof-line as shown on the Building Concepts.
- i) Entries and windows on elevations that are exposed to solar influence will incorporate an architectural shading device.
- j) Garages will incorporate elements of the building architecture to relate to and enhance the architecture of the homes.
- k) Garages shall incorporate lights at the front face of the garage for security. This may include recessed can lights incorporated into architectural forms.

- l) Covered parking structures may have flat roofs and be constructed of steel so long as they are painted to compliment the architecture of the homes.
- m) All HVAC equipment shall be roof mounted. The equipment shall be property screened from view from the perspective of the ground adjacent to the home.

Lot size: ±10.01 Acres
APN #: 304-03-033 & 034
Zoning: RS-43

Existing Zoning Map



Exhibit 3

Legal Description

NW4 NW4 NW4 EX N 55F & EX W 55F

Exhibit 4

Existing General Plan – Land Use Map

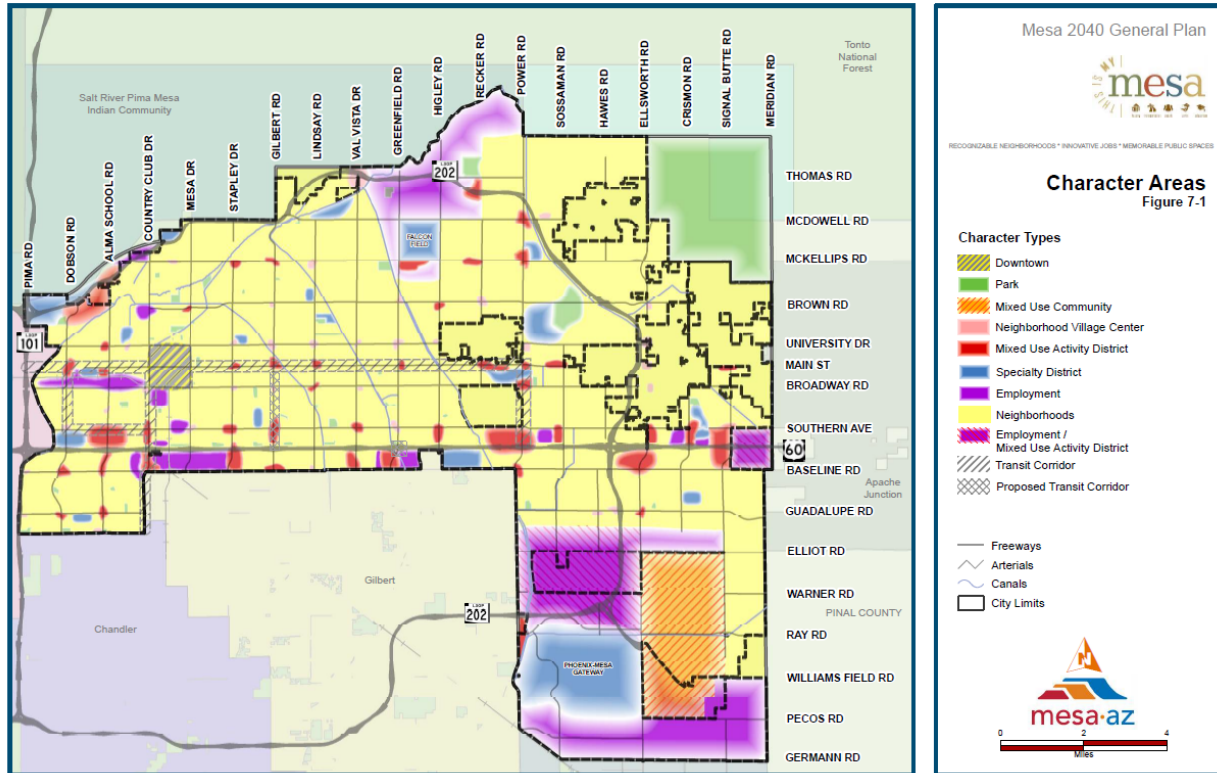


Exhibit 5

Site Plan

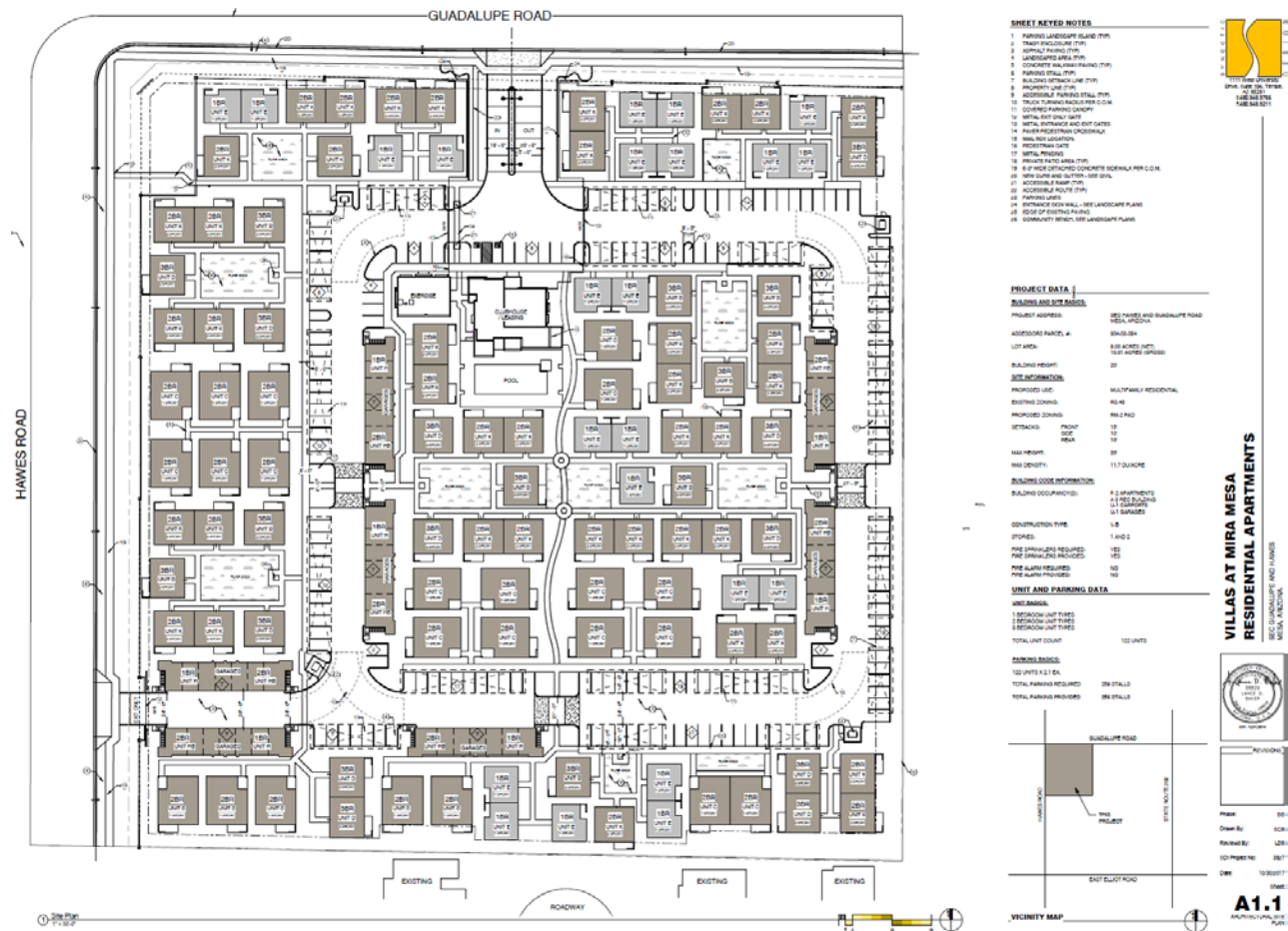


Exhibit 6

Layouts and Elevations

One Bed Unit – Floor Plan

Two Bed Unit – Floor Plan

Three Bed Unit – Floor Plan

One Bed Unit - Elevation

Two Bed Unit – Elevation

Three Bed Unit – Elevation

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1 Site Plan
1" = 30'-0"



SHEET KEYED NOTES

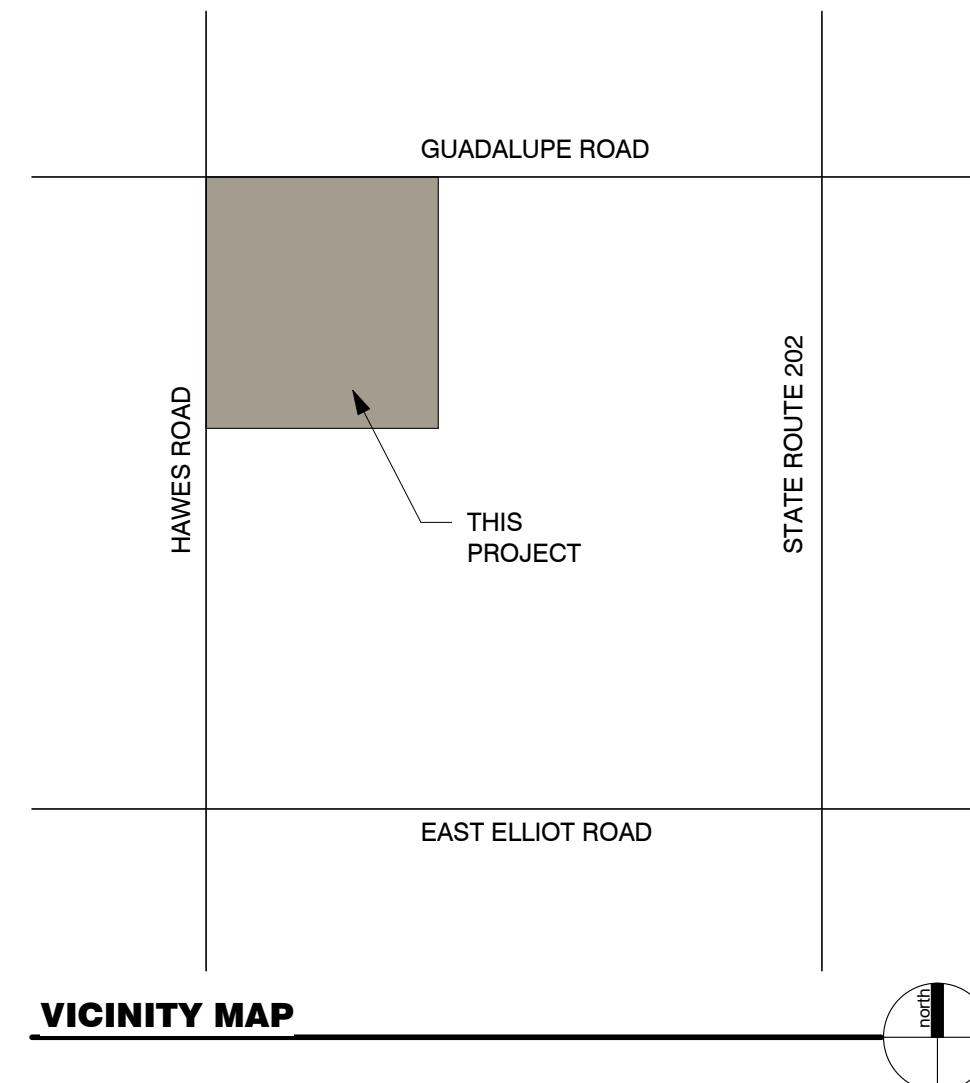
- 1 PARKING LANDSCAPE ISLAND (TYP)
- 2 TRASH ENCLOSURE (TYP)
- 3 ASPHALT PAVING (TYP)
- 4 LANDSCAPED AREA (TYP)
- 5 CONCRETE WALKWAY/PAVING (TYP)
- 6 PARKING STALL (TYP)
- 7 BUILDING SETBACK LINE (TYP)
- 8 PROPERTY LINE (TYP)
- 9 ACCESSIBLE PARKING STALL (TYP)
- 10 TRUCK TURNING RADIUS PER C.O.M.
- 11 COVERED PARKING CANOPY
- 12 METAL EXIT ONLY GATE
- 13 METAL ENTRANCE AND EXIT GATES
- 14 PAVER PEDESTRIAN CROSSWALK
- 15 MAIL BOX LOCATION
- 16 PEDESTRIAN GATE
- 17 METAL FENCING
- 18 PRIVATE PATIO AREA (TYP)
- 19 6'-0" WIDE DETACHED CONCRETE SIDEWALK PER C.O.M.
- 20 NEW CURB AND GUTTER - SEE CIVIL
- 21 ACCESSIBLE RAMP (TYP)
- 22 ACCESSIBLE ROUTE (TYP)
- 23 PARKING LINES
- 24 ENTRANCE SIGN WALL - SEE LANDSCAPE PLANS
- 25 EDGE OF EXISTING PAVING
- 26 COMMUNITY BENCH, SEE LANDSCAPE PLANS
- 27 ENHANCES CORNER MONUMENT
- 28 TRAFFIC CONTROL HUMPS

PROJECT DATA

BUILDING AND SITE BASICS:	
PROJECT ADDRESS:	SEC HAWES AND GUADALUPE ROAD MESA, ARIZONA
ASSESSORS PARCEL #:	304-03-034
LOT AREA:	8.00 ACRES (NET) 10.01 ACRES (GROSS)
BUILDING HEIGHT:	20'
SITE INFORMATION:	
PROPOSED USE:	MULTIFAMILY RESIDENTIAL
EXISTING ZONING:	RS-43
PROPOSED ZONING:	RM-2 PAD
SETBACKS:	FRONT 15' SIDE 10' REAR 10'
MAX HEIGHT:	20'
MAX DENSITY:	11.7 DU/ACRE
BUILDING CODE INFORMATION:	
BUILDING OCCUPANCY(S):	R-2 APARTMENTS A-3 REC BUILDING U-1 CARPORTS U-1 GARAGES
CONSTRUCTION TYPE:	V-B
STORIES:	1 AND 2
FIRE SPRINKLERS REQUIRED:	YES
FIRE SPRINKLERS PROVIDED:	YES
FIRE ALARM REQUIRED:	NO
FIRE ALARM PROVIDED:	NO

UNIT AND PARKING DATA

UNIT BASICS:	
1 BEDROOM UNIT TYPES	30
2 BEDROOM UNIT TYPES	71
3 BEDROOM UNIT TYPES	20
TOTAL UNIT COUNT	121 UNITS
PARKING BASICS:	
121 UNITS X 2.1 EA.	
TOTAL PARKING REQUIRED	254 STALLS
TOTAL PARKING PROVIDED	256 STALLS



SYNECTIC

1111 West University
Drive, Suite 104, Tempe,
AZ 85281
1480.948.9766
1480.948.9211

VILLAS AT MIRA MESA
RESIDENTIAL APARTMENTS










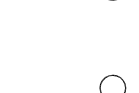

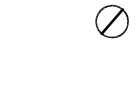


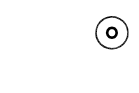




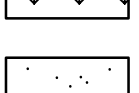

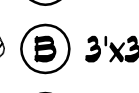


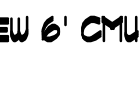

SEC GUADALUPE AND HAWES
MESA, ARIZONA

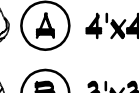


REGISTERED ARCHITECT
LANCE D. BAKER
35529
LANCE D. BAKER
ARCHITECT
ARIZONA, U.S.A.
EXP. 12/31/2018


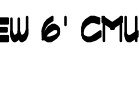







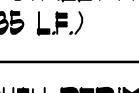

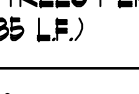
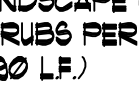
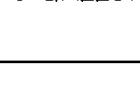


REVISIONS

Phase: DD
Drawn By: SB/AF
Reviewed By: SB
SDI Project No: 3827
Date: 01.09.2017
Sheet: A1.1
ARCHITECTURAL SITE
PLAN

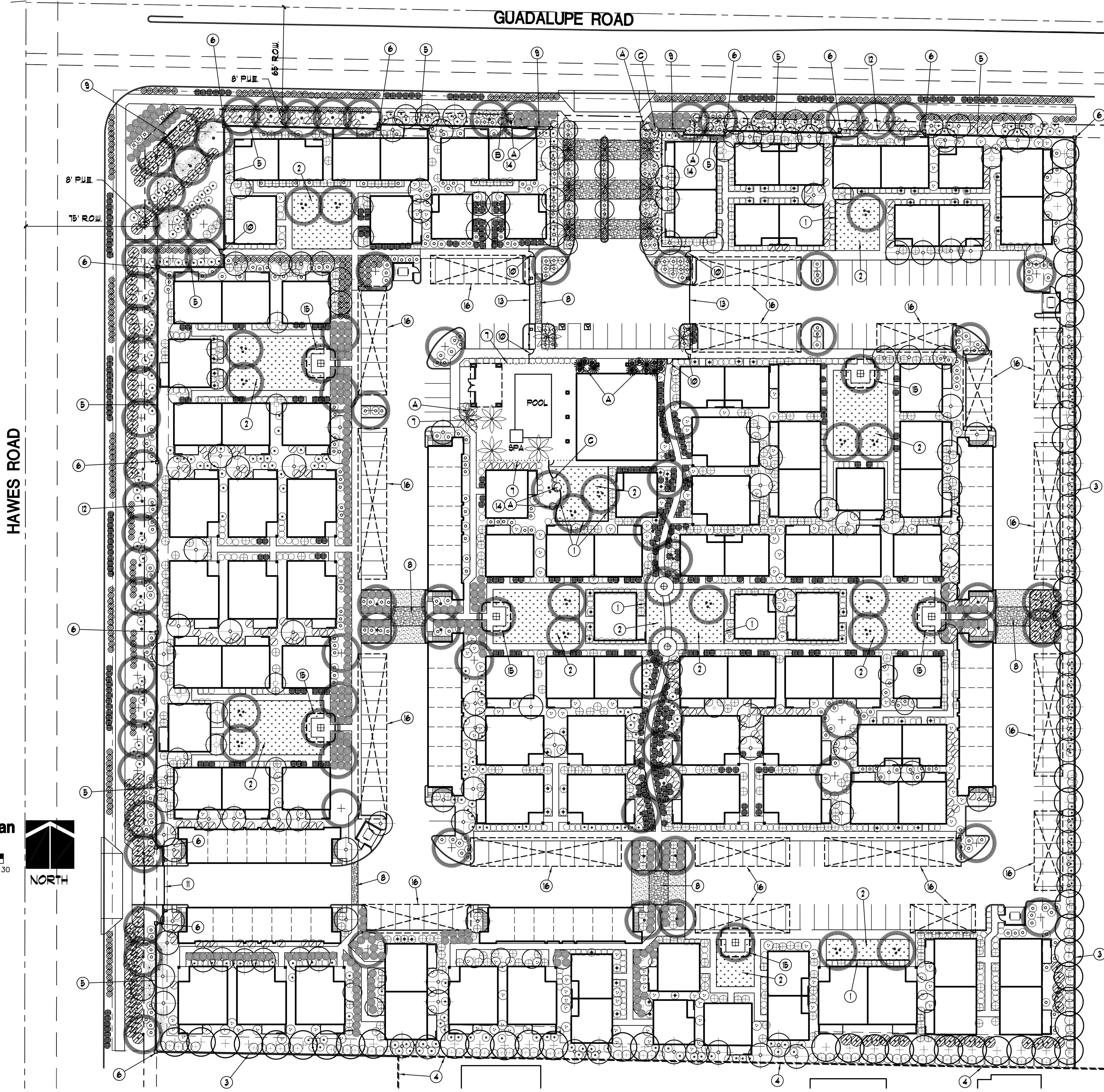
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PLANT SCHEDULE:		
	PHOENIX DACTYLIFERA DATE PALM	20' TRUNK STRAIGHT, DIAMOND CUT 15 TOTAL
	ACACIA SALICINA WILLOW ACACIA	15 GALLON, MATCHING 1' HT, 3' SP, 3/4" CAL. 47 TOTAL
	CERCIDIUM 'HYBRID' DESERT MUSEUM PALO VERDE	24" BOX STANDARD, MATCHING 9' HT, 4.5' SP, 1 1/2" CAL. 45 TOTAL
	OLEA EUROPAEA 'SH.' SUAN HILL OLIVE	36" BOX SPECIMEN MULTI-TRUNK, 12' HT, 6' SP, 2 1/2" CAL. 19 TOTAL
	NERIUM OLEANDER WHITE OLEANDER	24" BOX MATCHING STANDARD, 9' HT, 4.5' SP, 1 1/2" CAL. 31 TOTAL
	CAESALPINIA MEXICANA YELLOW MEXICAN BIRD OF PARADISE	24" BOX MATCHING 1' HT, 4.5' SP, 1 1/2" CAL. 24 TOTAL
	CHITALPA TASHKENSIS CHITALPA	24" BOX MATCHING 9' HT, 4.5' SP, 1 1/2" CAL. 135 TOTAL
	PROSOPIS CHILENSIS 'LR.' LESLIE ROY THORNLESS MESQUITE	36" BOX, MATCHING SPECIMENS 12' HT, 6' SP, 2 1/2" CAL. 49 TOTAL
	PHOENIX ROEBELLINI PIGMY PALM	15 GALLON 2-TRUNK 5 TOTAL
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GALLON FULL, FAST CAN, 6' O.C. SPACING 26 TOTAL
	BOUGAINVILLEA 'LA JOLLA' RED BUSH BOUGAINVILLEA	5 GALLON FULL, FAST CAN, 5' O.C. SPACING 77 TOTAL
	NERIUM OLEANDER 'DWARF PINK' DWARF PINK OLEANDER	5 GALLON FULL, FAST CAN, 5' O.C. SPACING 354 TOTAL
	CARISSA GRANDIFLORA 'B.B.' BOXWOOD BEAUTY	5 GALLON FULL, FAST CAN, 4' O.C. SPACING 458 TOTAL
	TECOMA ALATA ORANGE JUBILEE	5 GALLON FULL, FAST CAN, 6' O.C. SPACING 186 TOTAL
	RUELLIA BRITTONIANA RUELLIA	5 GALLON FULL, FAST CAN, 5' O.C. SPACING 210 TOTAL
	TECOMA SANS 'SUNDANCE' TRUMPET BUSH HYBRID	5 GALLON FULL, FAST CAN, 5' O.C. SPACING 496 TOTAL
	CASSIA STURTII GREEN DESERT CASSIA	5 GALLON FULL, FAST CAN, 6' O.C. SPACING 131 TOTAL
	ACACIA REDOLENS 'D.C.' DESERT CARPET REDOLENS	5 GALLON FULL, FAST CAN, 1' O.C. SPACING 135 TOTAL
	LEUCOPHYLLUM LANGMANIAE 'R.B.' RIO BRAVO SAGE	5 GALLON FULL, FAST CAN, 5' O.C. SPACING 258 TOTAL
	PLUMBAGO AURICULATA CAPE PLUMBAGO	5 GALLON FULL, FAST CAN, 5' O.C. SPACING 59 TOTAL
	CALLISTEMON VIMINALIS 'L.J.' DWARF BOTTLE BRUSH	5 GALLON FULL, FAST CAN, 4 1/2' O.C. SPACING 431 TOTAL
	LANTANA MONTIVDENSIS 'T.Y.' TRAILING YELLOW LANTANA	1 GALLON FULL, FAST CAN, 4' O.C. SPACING 364 TOTAL
	EREMOPHYLLA GLABRA 'M.G.' OUTBACK SUNRISE	1 GALLON FULL, FAST CAN 307 TOTAL
	RUELLIA BRITTONIA 'KATIE' KATIE RUELLIA	1 GALLON FULL, FAST CAN 9 TOTAL
	MID-IRON LAWN	60DDED 15,160 SF.
	DECOMPOSED GRANITE	2" DEEP, 1/2" SCREENED 'MADISON GOLD' 15,160 SF.

BOULDER SCHEDULE:		
	4'x4'x3' DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 12")	
	3'x3'x30" DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 12")	
	2'x2'x18" DEEP SELECT GRADE GRANITE SURFACE BOULDER (BURY 6")	

PLAN KEY NOTES:		
	6'x6" CONCRETE HEADER	
	60DDED LAWN	
	NEW 6" CMU WALL, DETAIL 	
	EXISTING 6" WALL	
	PROJECT THEME WALL, DETAIL 	
	COLUMN, DETAIL 	
	6" TUBE STEEL FENCE, DETAIL 	
	CROSSWALK PAVERS	
	9" SIGN MONUMENT WALL, DETAIL 	
	10" PEDESTRIAN GATE, DETAIL 	
	11" EXIT GATE, DETAIL	
	12" VIEW FENCE, DETAIL	
	13" ENTRANCE GATE, DETAIL	
	14" SELECT GRADE GRANITE SURFACE BOULDERS	
	15" SEATING AREA, DETAIL	
	16" COVERED PARKING	

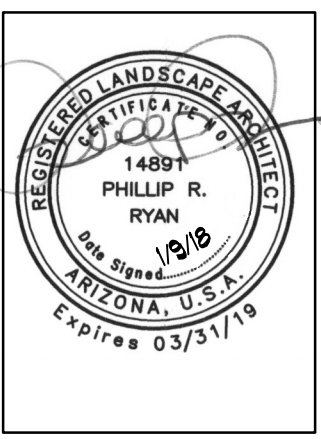
ON-SITE LANDSCAPING	MIN. REQUIRED PLANTS	PROVIDED PLANTS
ARTERIAL STREET (10'-130') (1 TREE & 6 SHRUBS PER 25' L.F. OF STREET FRONTAGE) (1135 L.F.)	95 TREES & 212 SHRUBS	52 TREES (42) 24" BOX TREES (10) 36" BOX TREES
SOUTH PERIMETER LANDSCAPE (5 TREES PER 100' L.F.) (555 L.F.)	(30) 24" BOX TREES 50% VEGETATIVE COVER	(30) 24" BOX TREES 50% VEGETATIVE COVER
EAST PERIMETER LANDSCAPE (3 TREES & 20 SHRUBS PER 100' L.F.) (550 L.F.)	18 TREES (9) 24" BOX & (9) 15 GALLON (118) 5 GALLON SHRUBS	24 TREES (24) 15 GALLON (118) 5 GALLON SHRUBS



SYNECTIC
1111 West University
Drive, Suite 104, Tempe,
AZ 85281
t:480.948.9766
f:480.948.9211

phillip r. ryan
landscape architect p.c.
landscape architecture & planning
4916 s. quiet way
gilbert, arizona 85296
(480) 869-9813 fax (480) 963-3674

VILLAS AT MIRA MESA
RESIDENTIAL APARTMENTS
SEC GUADALUPE AND HAWES
MESA, ARIZONA



REVISIONS	

Phase: DD
Drawn By: DLR
Reviewed By: PRR
SDI Project No: 3827
Date: 10/16/2017
Sheet:
L-1
PRELIMINARY
LANDSCAPE PLAN

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PLAN KEY NOTES:

(FOR WALL PLAN ONLY)

- 1

NEW 6" CMU WALL, DETAIL

$\frac{1}{L-3}$
- 2

EXISTING 6" WALL
- 3

PROJECT THEME WALL, DETAIL

$\frac{1}{L-2}$
- 4

COLUMN, DETAIL

$\frac{1}{L-2}$
- 5

6" TUBE STEEL FENCE, DETAIL

$\frac{4}{L-2}$
- 6

SIGN MONUMENT WALL, DETAIL

$\frac{2}{L-3}$
- 7

PEDESTRIAN POOL GATE, DETAIL

$\frac{4}{L-2}$
- 8

EXIT GATE, DETAIL

$\frac{5}{L-2}$
- 9

PEDESTRIAN GATE, DETAIL

$\frac{4}{L-3}$
- 10

PAYER CROSSWALK
- 11

SWIMMING POOL
- 12

JACUZZI
- 13

THEME WALL VIEW FENCE, DETAIL
(SEE RIGHT SIDE OF ENTRY GATE FOR
ELEVATION OF VIEW FENCE)

$\frac{5}{L-2}$
- 14

DUMPSTER ENCLOSURE, DETAIL

$\frac{3}{L-3}$
- 15

SODDED TURF
- 16

6"x6" CONCRETE HEADER
- 17

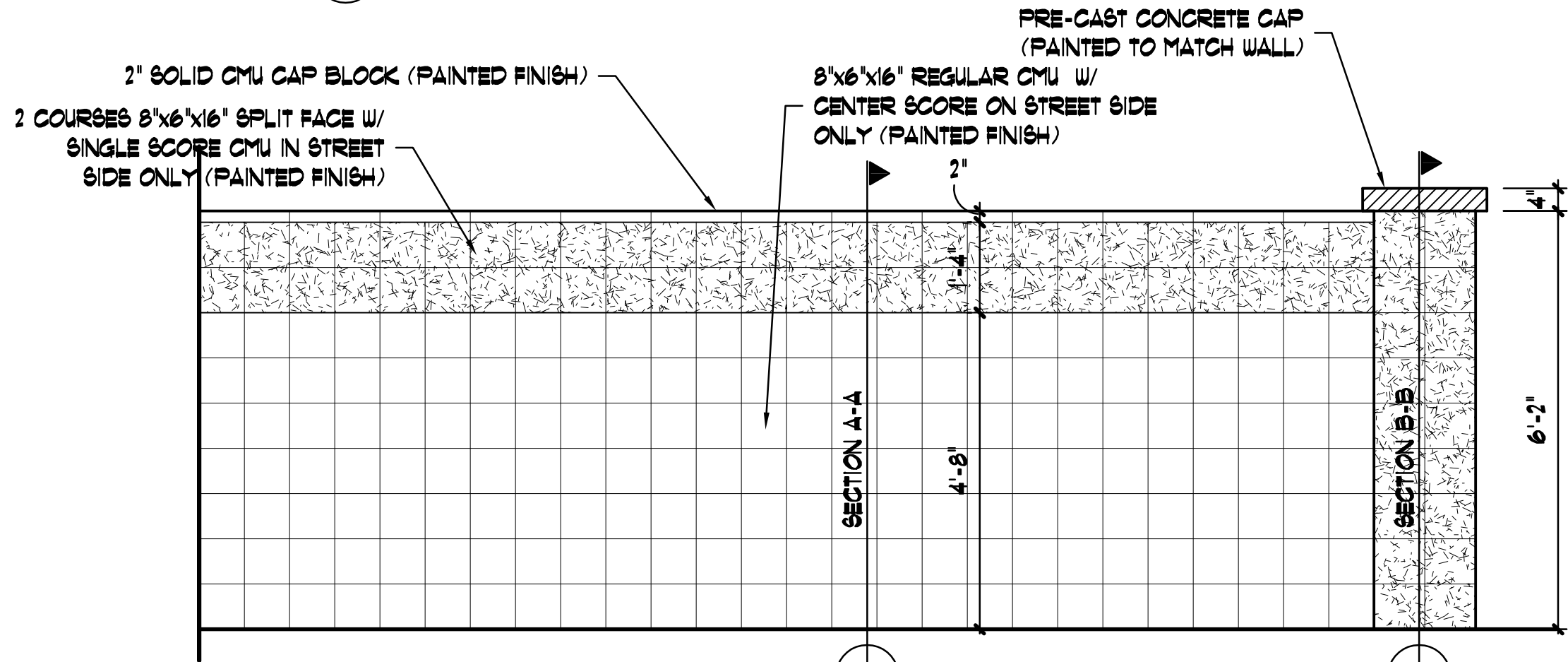
SEATING AREA, DETAIL

$\frac{6}{L-3}$
- 18

GATED ENTRY, DETAIL

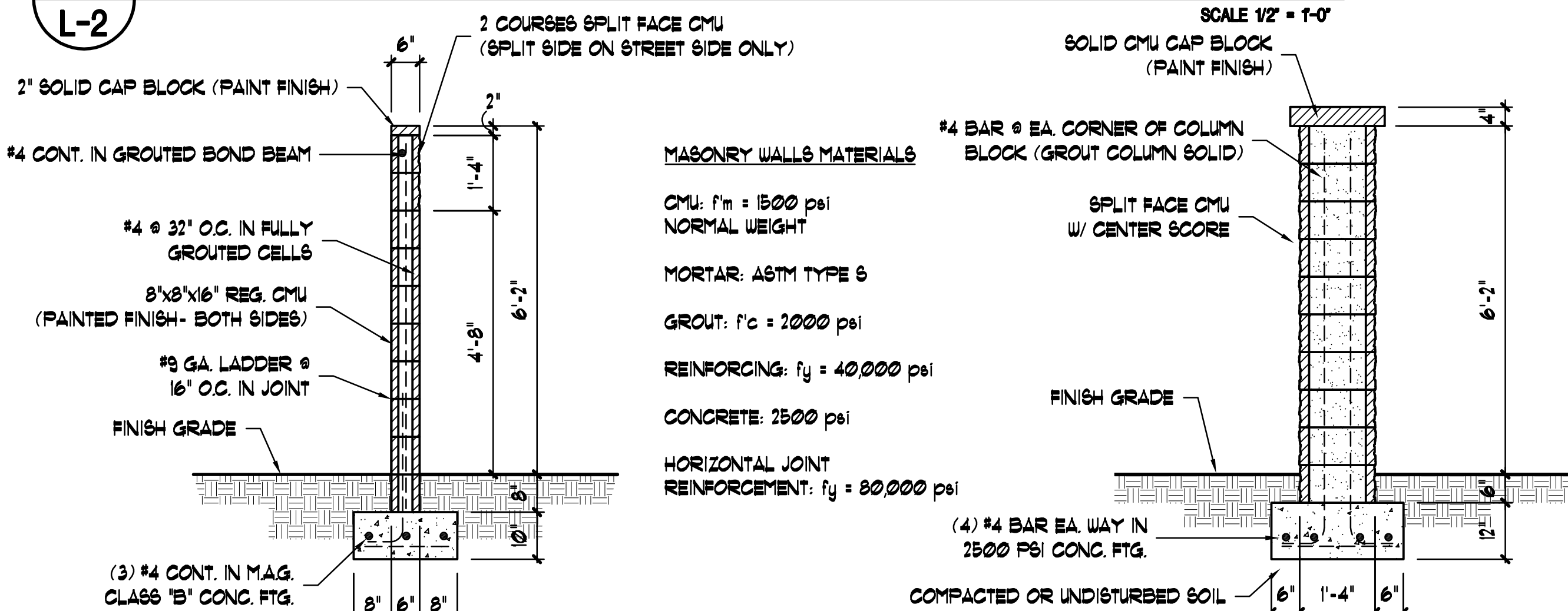
$\frac{5}{L-2}$
- 19

PAVER DRIVEWAY



THEME WALL ELEVATION

SCALE 1/2" = 1'-0"

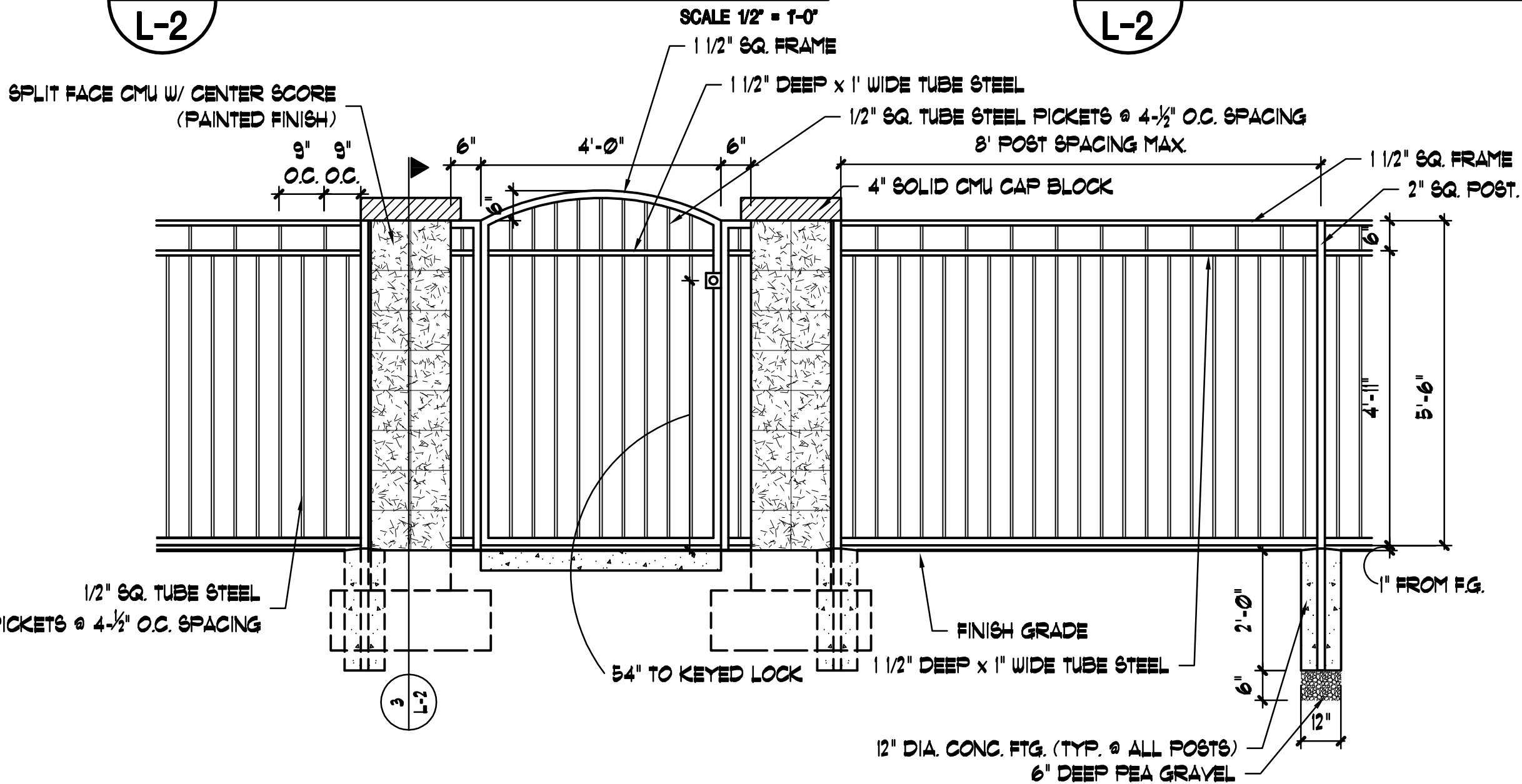


SECTION A-A

SCALE 1/2" = 1'-0"

SECTION B-B

SCALE 1/2" = 1'-0"



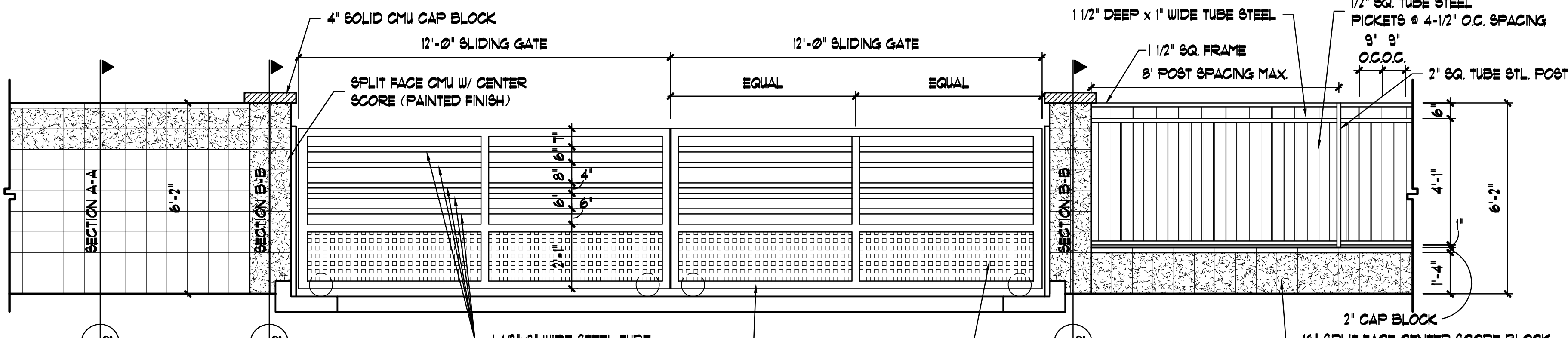
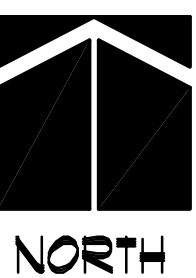
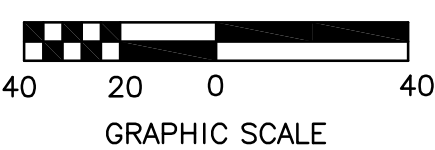
POOL TUBE STEEL FENCING & GATE

SCALE 1/2" = 1'-0"

NOTE: POOL GATE TO SWING AWAY FROM POOL AREA AND HAVE
SELF-CLOSING/SELF-LATCHING MECHANISM.

Wall Plan

Scale 1:40

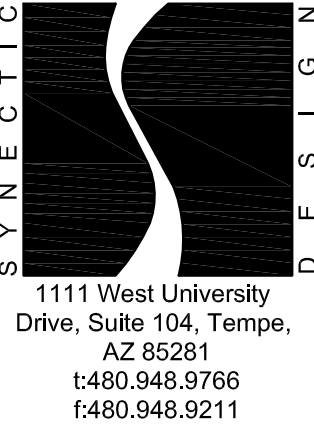


GATED ENTRY ELEVATION

SCALE 3/8" = 1'-0"

HAWES ROAD

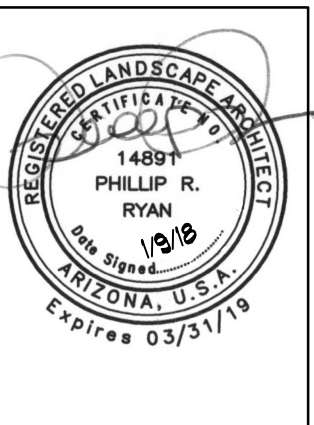
GUADALUPE ROAD



phillip r. ryan
landscape architect p.c.
landscape architecture & planning
4916 s. quiet way
gilbert, arizona 85296
(480) 869-5813 fax (480) 963-3674

VILLAS AT MIRA MESA
RESIDENTIAL APARTMENTS

SEC GUADALUPE AND HAWES
MESA, ARIZONA



REVISIONS	

Phase: DD
Drawn By: DLR
Reviewed By: PRR
SDI Project No: 3827
Date: 10/16/2017
Sheet:

L-2

PRELIMINARY
WALL DETAILS AND
WALL PLAN

PRELIMINARY GRADING AND DRAINAGE PLAN FOR:
VILLAS AT MIRA MESA
8415 EAST GUADALUPE ROAD
MESA, ARIZONA

A PORTION OF THE NORTHWEST QUARTER OF SECTION 9, TOWNSHIP 1 SOUTH, RANGE 7
EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

OWNER / DEVELOPER

SNOWDON PARTNERS PROPERTY I, LLC
7114 EAST STETSON DRIVE SUITE 400
SCOTTSDALE, ARIZONA 85251

CONTACT: SCOTT CURTIS
PHONE: 602-999-2189
EMAIL: SCOTT@SNOWDONPARTNERS.COM

ARCHITECT

SYNETIC DESIGN INCORPORATED
1111 WEST UNIVERSITY DRIVE SUITE 104
TEMPE, ARIZONA 85281

CONTACT: SCOTT BELFORD
PHONE: 480-948-9766
EMAIL: SBELFORD@SDIAZ.US

LANDSCAPE ARCHITECT

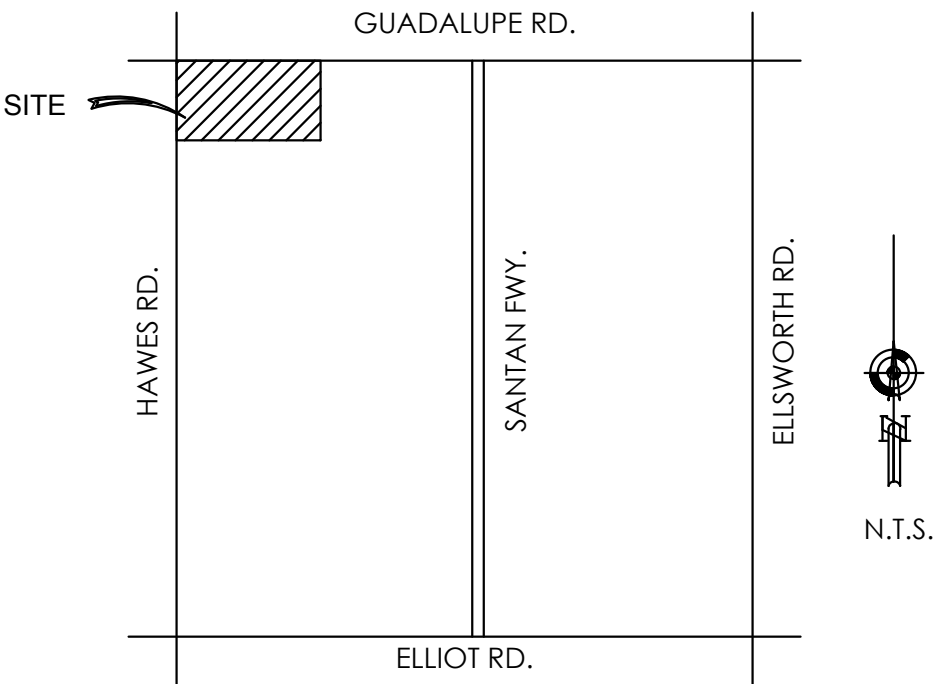
RYAN ASSOCIATES
4916 SOUTH QUIT WAY
GILBERT, ARIZONA 85296

CONTACT: PHILLIP R. RYAN
PHONE: 480-246-9681
EMAIL: MAIL@RYANASSOCIATESONLINE.NET

CIVIL ENGINEER

TERRASCAPE CONSULTING
1102 EAST MISSOURI AVENUE
PHOENIX, ARIZONA 85014

CONTACT: DAVE SOLTYSIK, P.E.
PHONE: 602-297-8732
EMAIL: DSOLTYSIK@TERRASCAPE.US



VICINITY MAP

SITE DATA:

APN: 304-03-034
TOTAL AREA (NET) 8.00 AC
TOTAL AREA (GROSS) 10.01 AC

FLOOD INFORMATION

FLOOD ZONE DESIGNATION "X" PER
F.E.M.A. FLOOD INSURANCE RATE
MAP, MAP NUMBER 04013C2760L,
PANEL 2760 OF 4425, DATED
OCTOBER 16, 2013.

ZONE "X" - AREAS OF 0.2% ANNUAL
CHANCE FLOOD; AREAS OF 1%
ANNUAL CHANCE FLOOD WITH
AVERAGE DEPTHS OF LESS THAN 1
FOOT OR WITH DRAINAGE AREAS
LESS THAN 1 SQUARE MILE; AND
AREAS PROTECTED BY LEVEES
FROM 1% ANNUAL CHANCE FLOOD.

BASIS OF BEARING

S 00°58'00"W - BEING THE WEST
LINE OF SECTION 9, T 1 S, R 7 E. AS
RECORDED ON THE FINAL PLAT OF
EASTRIDGE UNIT 1, BK. 492, PAGE
43, M.C.R.

BENCHMARK

BRASS TAG IN TOP OF CURB AT THE
NORTHWEST CORNER OF
SOSSAMAN AND GUADALUPE. CITY
OF MESA NAVD 88, ELEV=1358.99

REQUIRED RETENTION VOLUME & TIME TO DRAIN TIME

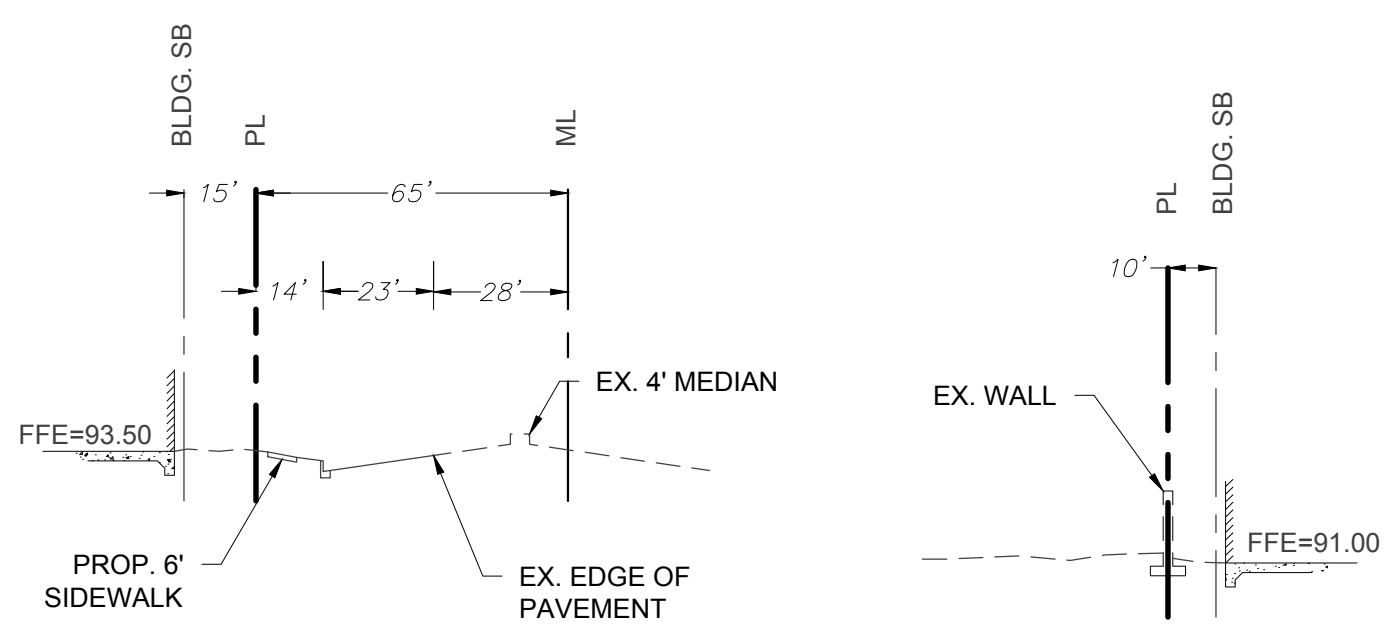
$V_R = C \times (P / 12) \times A$
C = WEIGHTED RUNOFF COEFFICIENT
P = RAINFALL DEPTH (NOAA ATLAS 14) (IN.)
A = RETAINED AREA (AC.)
 V_R = VOLUME REQUIRED
 V_P = VOLUME PROVIDED

C = 0.68
P = 2.2"
A = 10.01
 V_R = 59,356
 V_P = 60,500

DRAINAGE AREAS	DRAINAGE AREA (AC)	RUNOFF COEFFICIENT 'C'	VOLUME REQUIRED (CF)	* VOLUME PROVIDED (CF)	** ASSUMED 8" PVC Bleedoff Rate (CFS)	ESTIMATED RETENTION BASIN DRAIN TIME (HRS)
R/W	2.01	0.90	14,447			
Onsite	8.00	0.70	44,910			
TOTAL	10.01	0.68	59,356	60,500	0.5	33.0

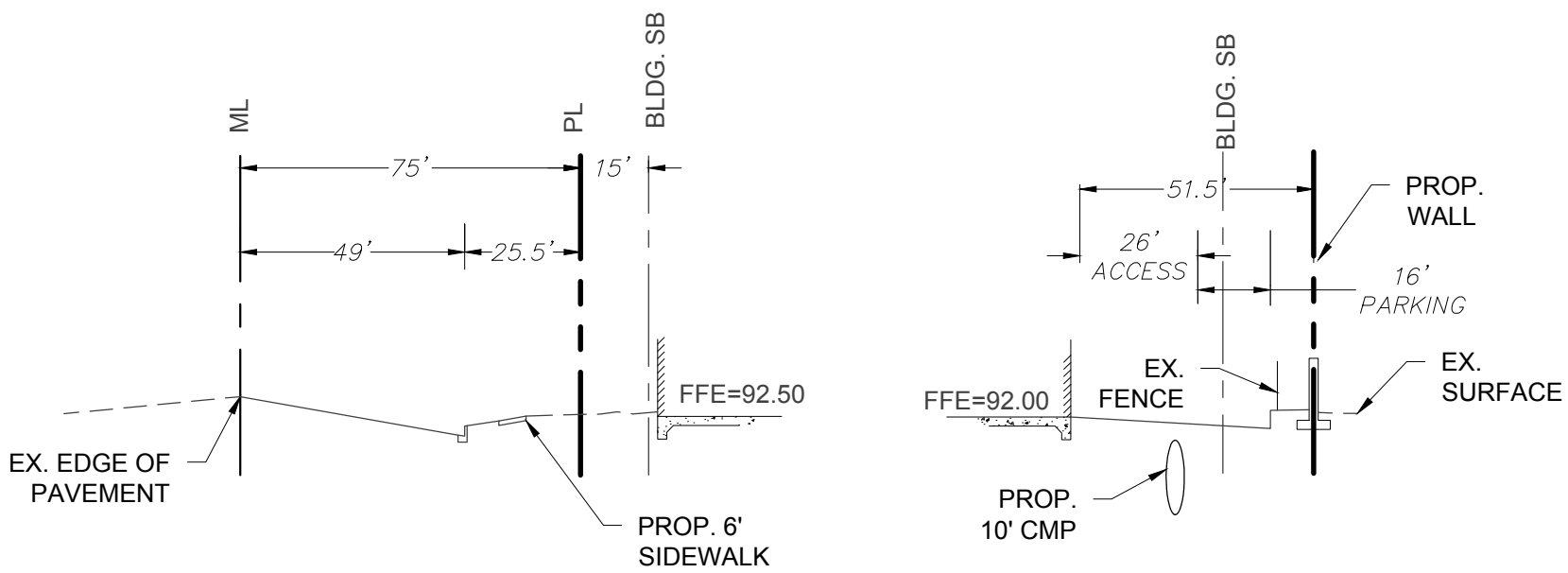
* CAPACITY OF 8" PVC PIPE FLOWING 2/3 FULL USING MANNING'S

** 770 LF - 10' DIA. CMP



SECTION A-A

SECTION C-C



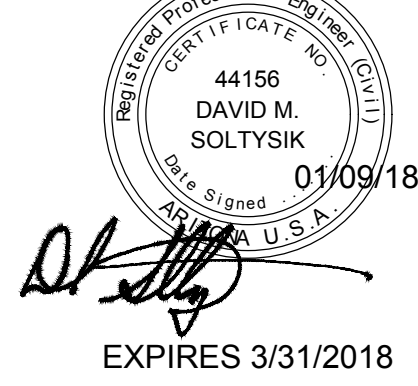
SECTION B-B

SECTION D-D

SCALE IN FEET
0 40 80

consulting
Terrascope
civil engineering • surveying • urban planning

SEAL:



VILLAS AT
MIRA MESA

PRELIMINARY GRADING
AND DRAINAGE PLAN

Call at least two full working days
before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

DATE	DESCRIPTION
01/09/18	2ND SUBMITTAL

CHECKED BY: DMS

DRAWN BY: EF

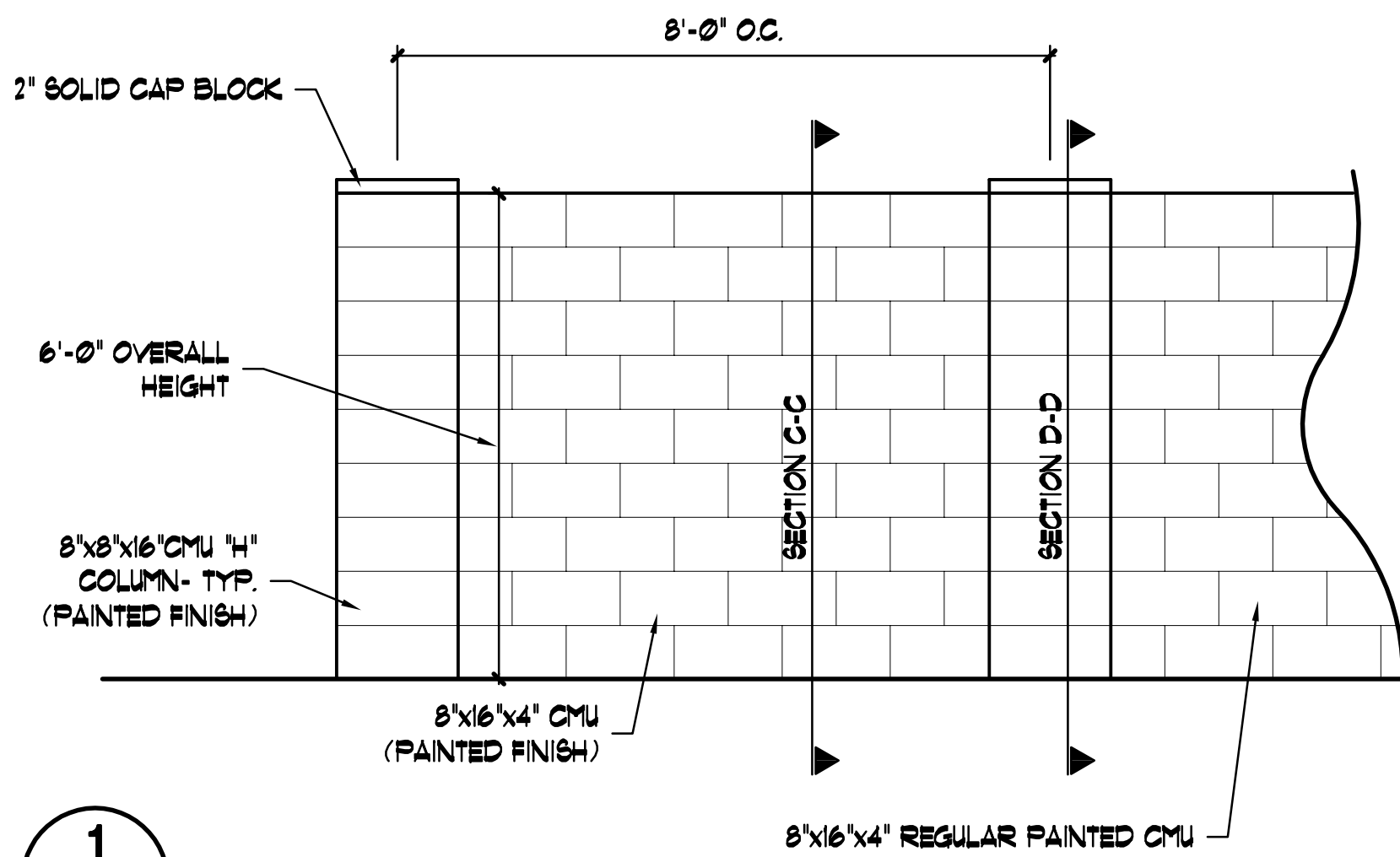
TITLE:
**PRELIMINARY GRADING
AND DRAINAGE PLAN**

SHEET No.

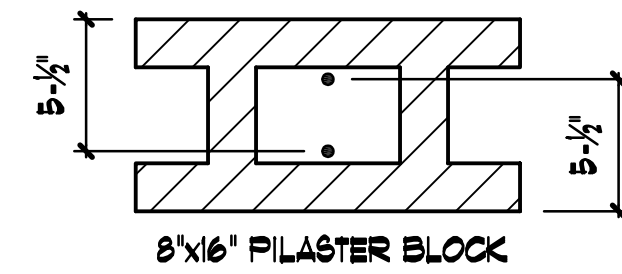
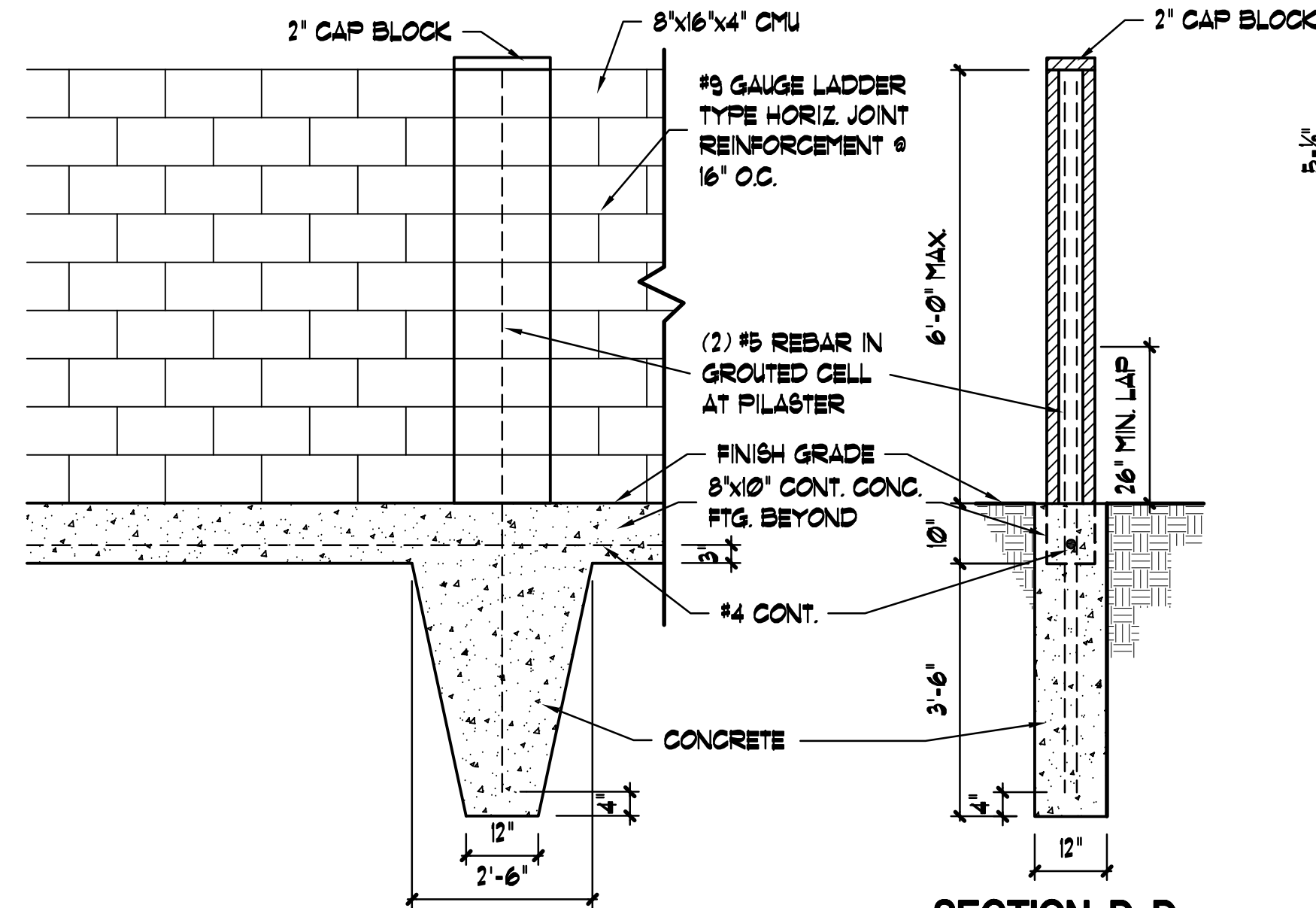
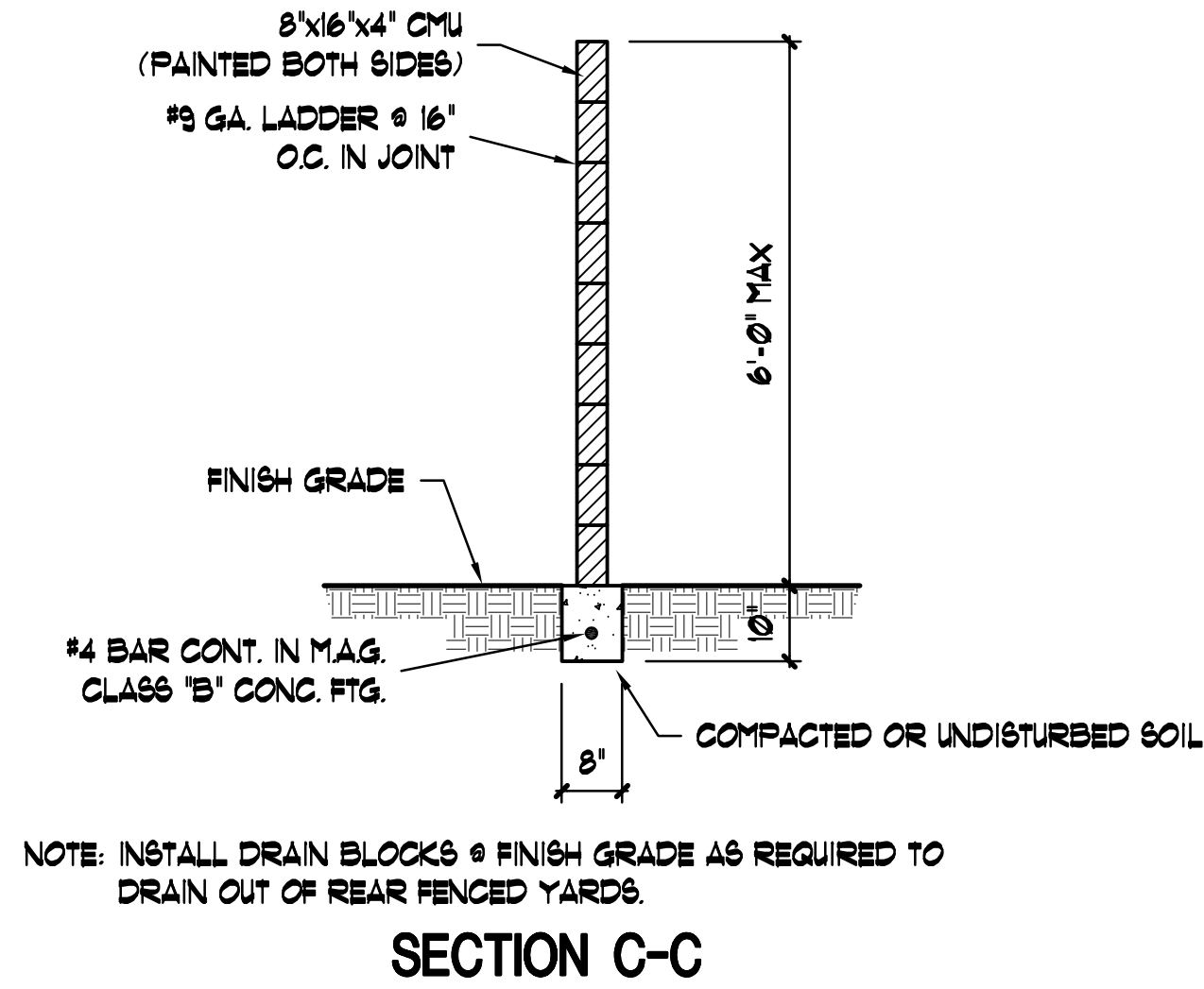
1 of 1

PROJECT No.
0753

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1
L-3



CROSS SECTION AT PILASTER
SCALE 1-1/2" = 1'-0"

MASONRY WALLS MATERIALS

CMU: f'm = 1500 psi

NORMAL WEIGHT

MORTAR: ASTM TYPE S

GROUT: f'c = 2000 psi

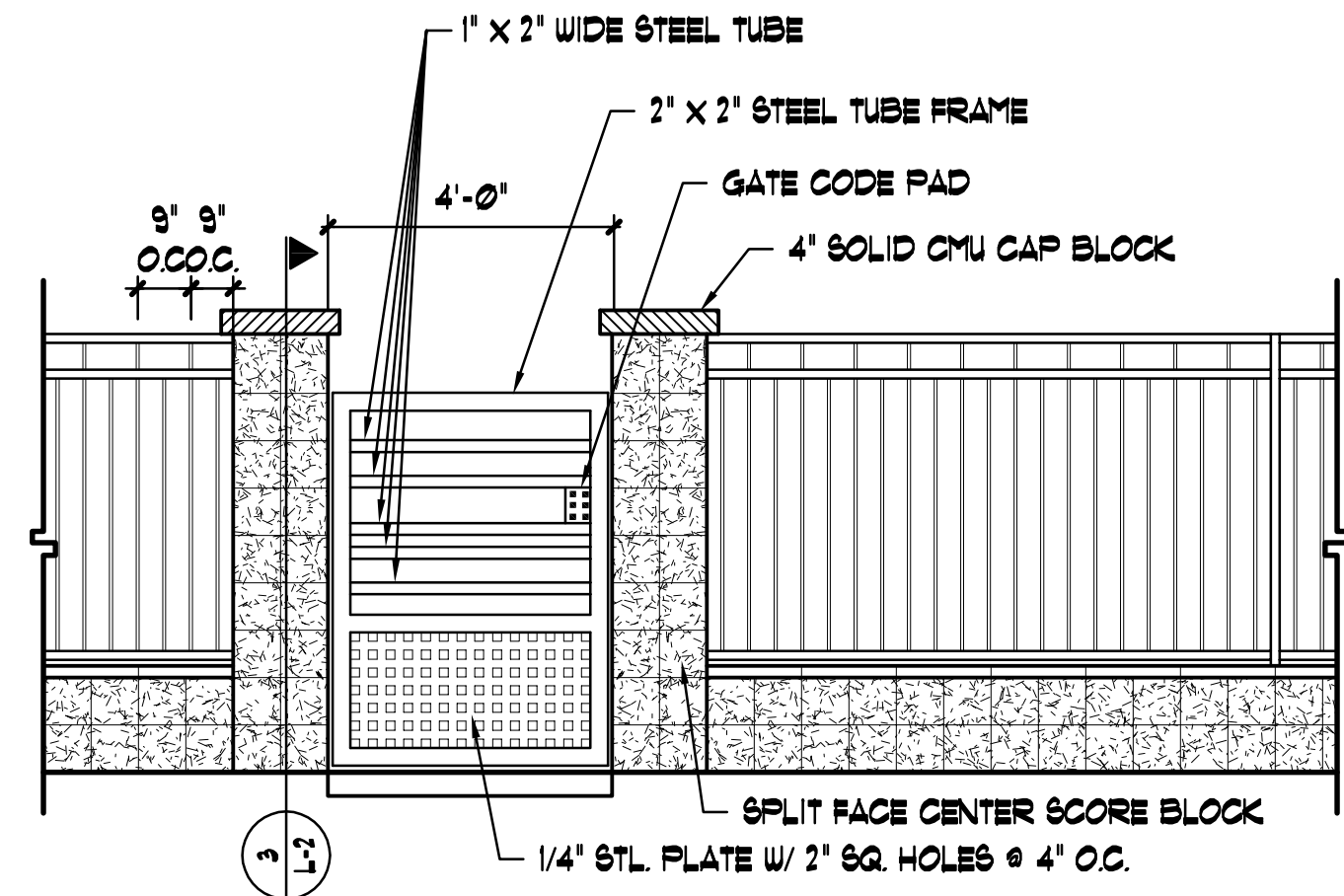
REINFORCING: f'y = 40,000 psi

CONCRETE: 2500 psi

HORIZONTAL JOINT
REINFORCEMENT: f'y = 80,000 psi

6' WALL ELEVATION

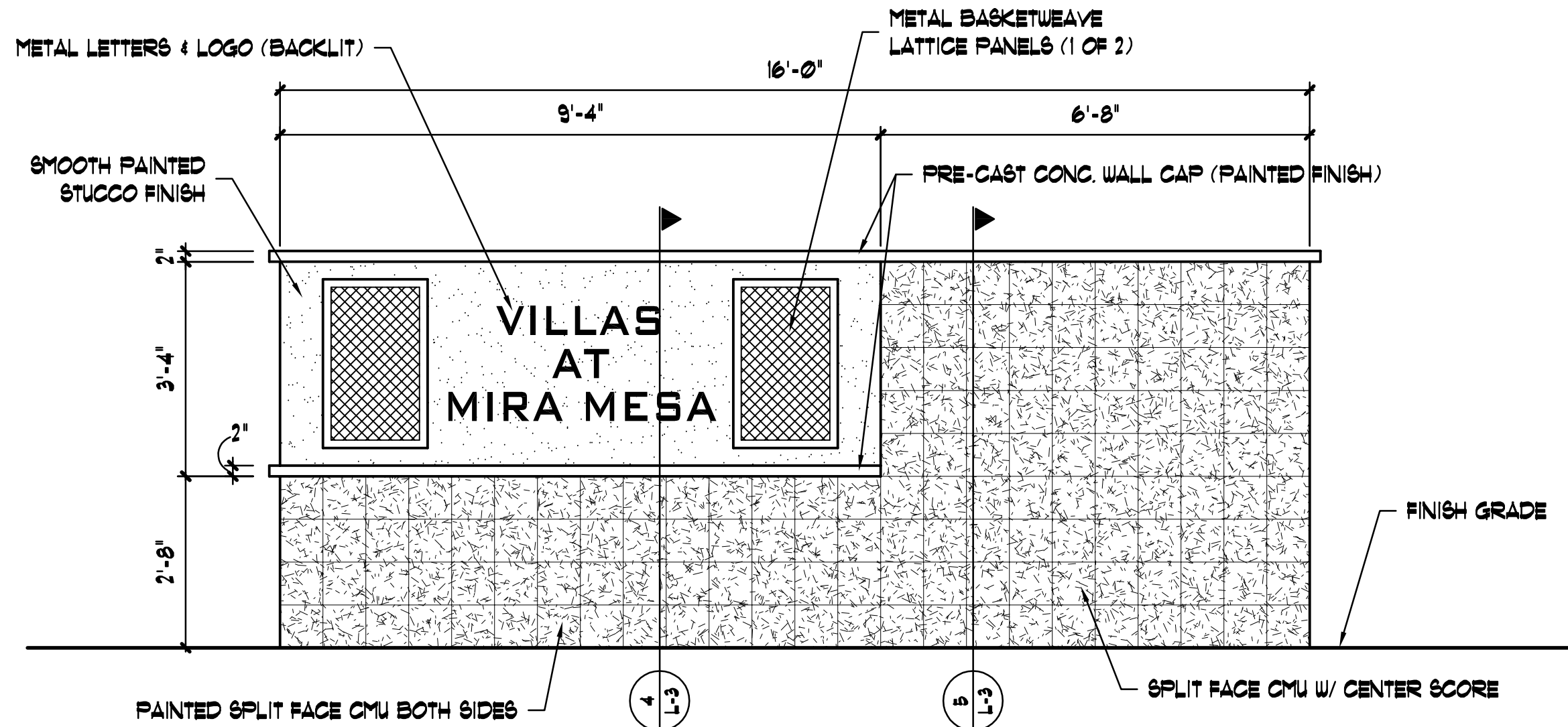
SCALE 1/2" = 1'-0"



2
L-3

PEDESTRIAN GATE

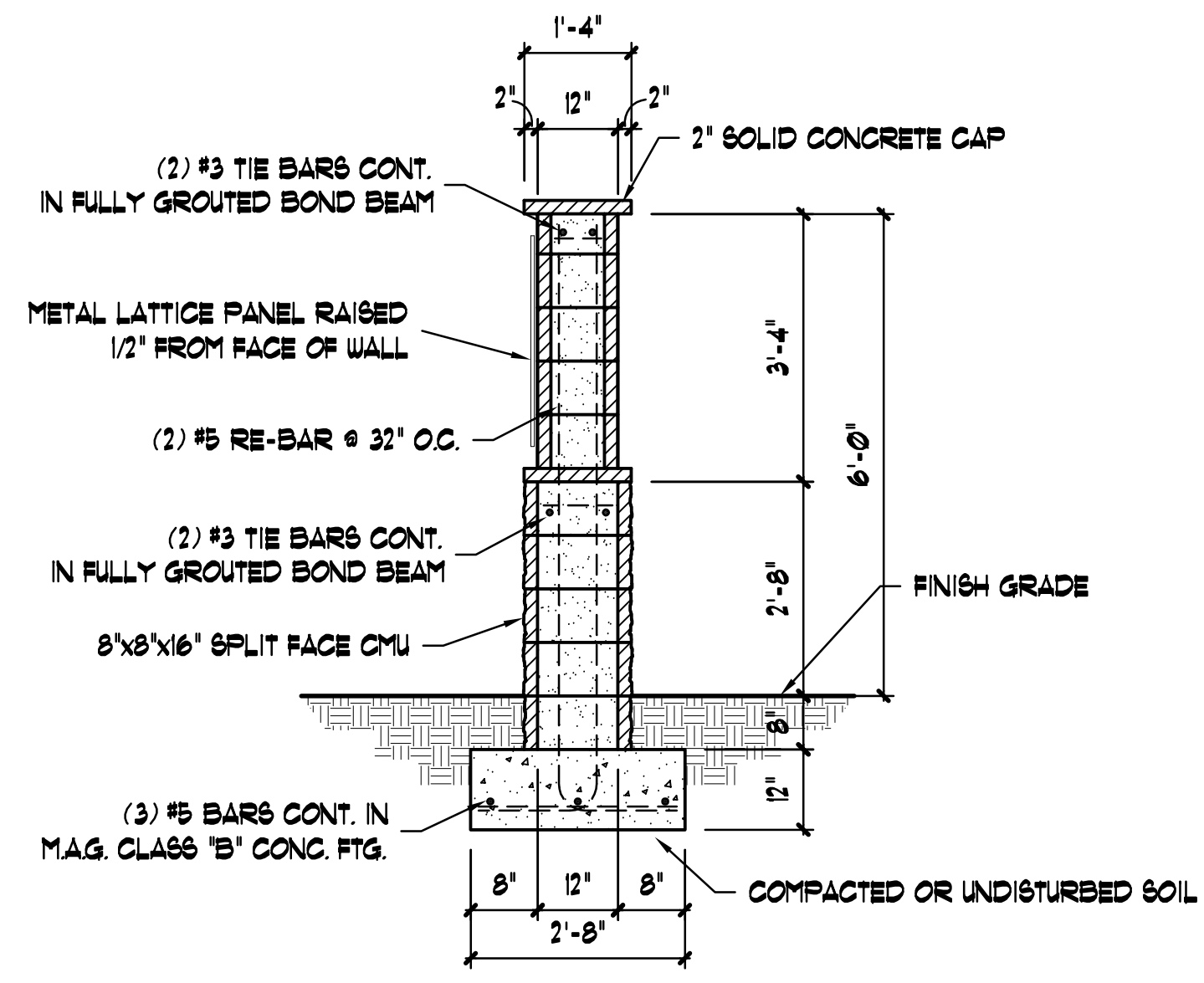
SCALE 3/8" = 1'-0"



3
L-3

SIGN WALL ELEVATION

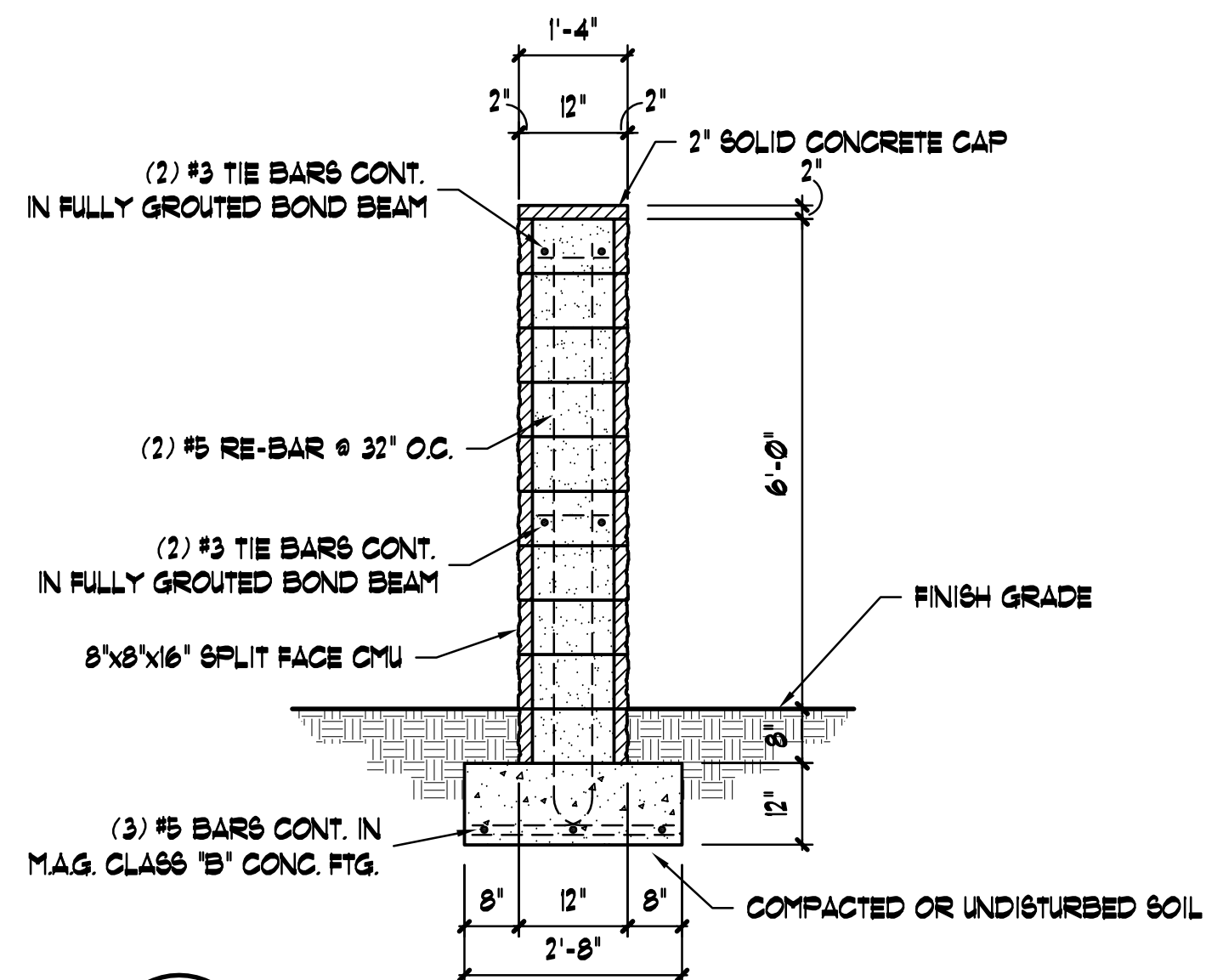
SCALE 1/2" = 1'-0"



4
L-3

SIGN WALL SECTION

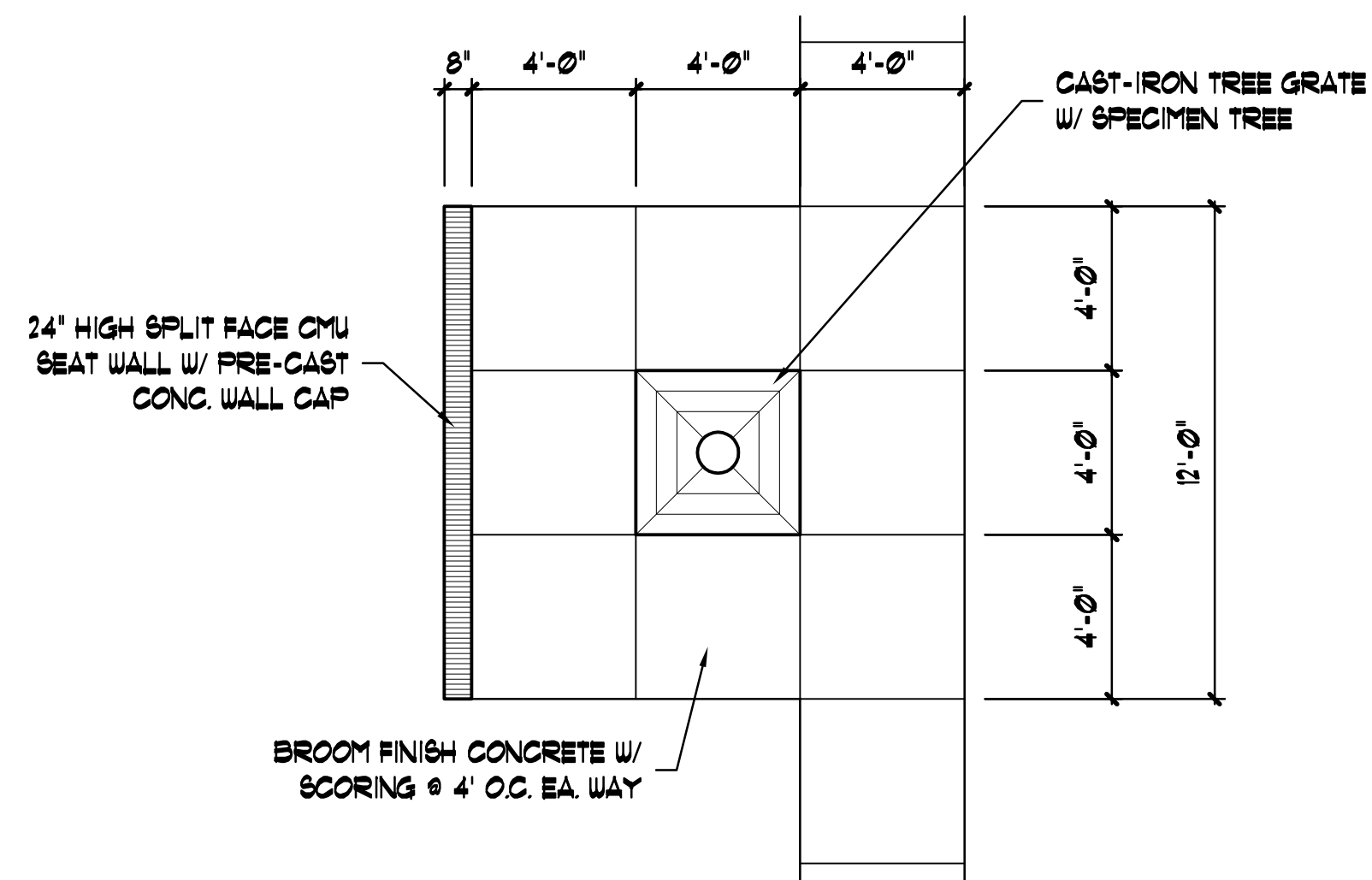
SCALE 1/2" = 1'-0"



5
L-3

SIGN WALL SECTION

SCALE 1/2" = 1'-0"



6
L-3

SEATING AREA

SCALE 1/4" = 1'-0"